

THIS SET OF PLANS MUST BE KEPT ON THE JOB SITE AT ALL TIMES. IT IS UNLAWFUL TO MAKE CHANGES OR ALTERATIONS WITHOUT APPROVAL. THE ISSUANCE OF THIS PERMIT SHALL NOT BE HELD TO PERMIT OR APPROVE THE LOCATION OF ANY COUNTY, STATE OR FEDERAL LAW, CODE, OR REGULATION.

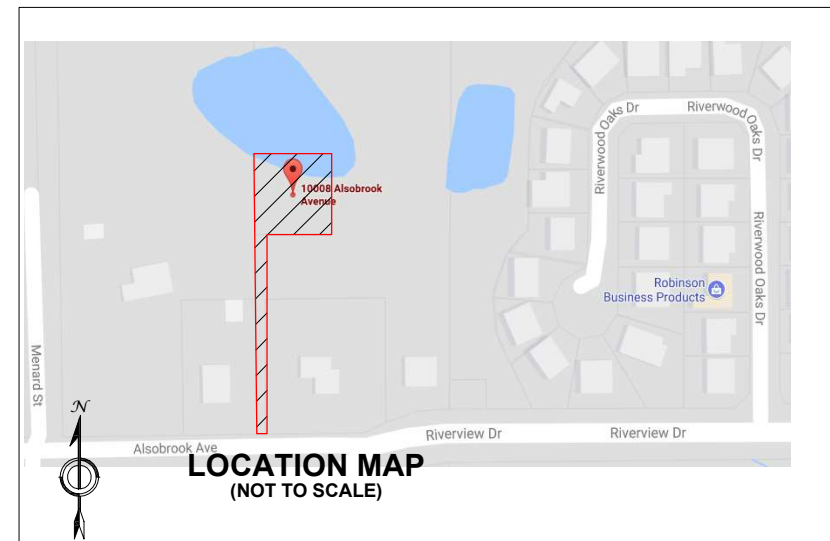
S I T E P L A N

SECTION 18, TOWNSHIP 30S, RANGE 20E. HILLSBOROUGH COUNTY

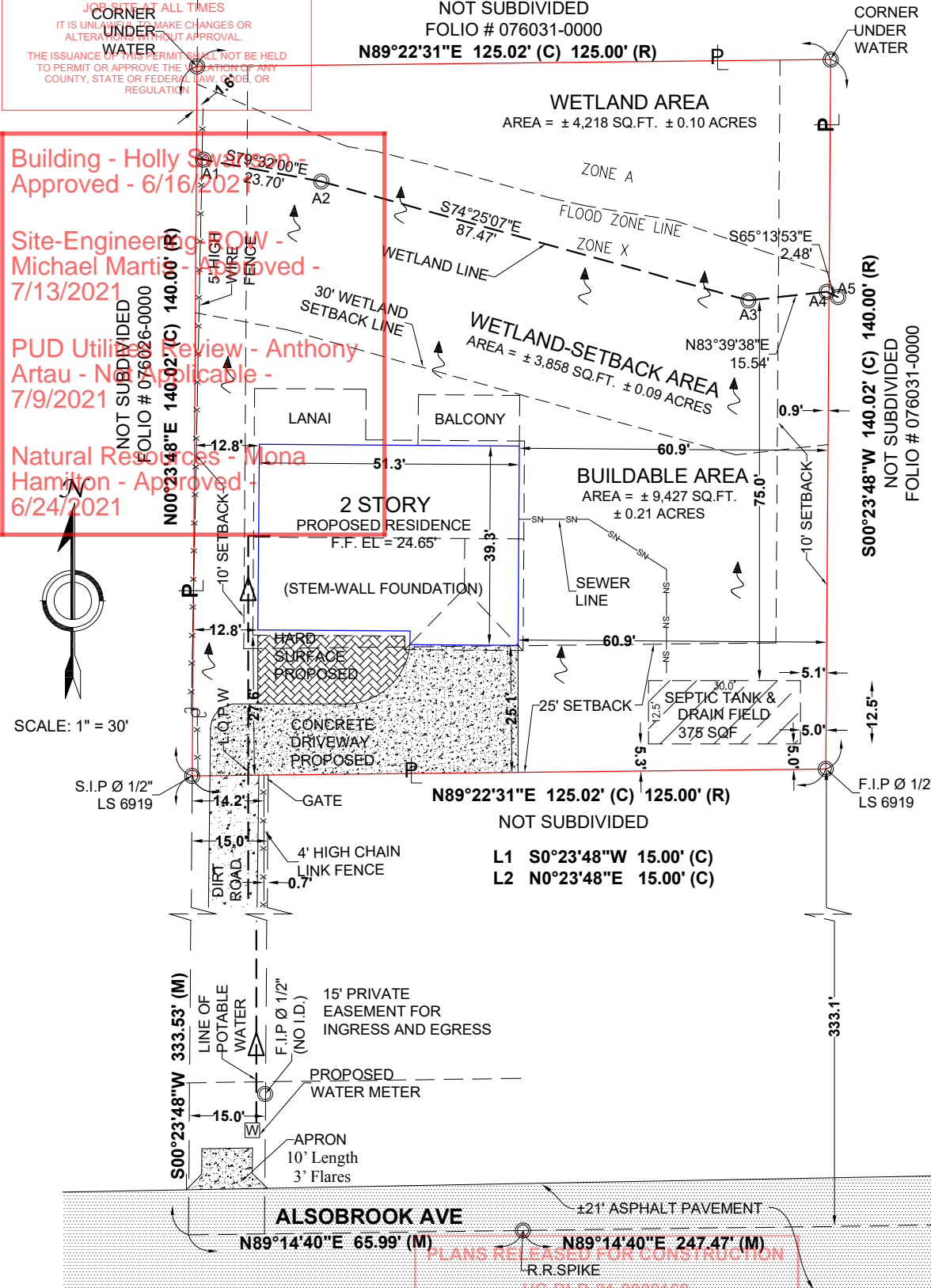
TOTAL AREA = ± 17,503 SQ.FT. ± 0.40 ACRES 100%
 PERVIOUS AREA = ± 13,317 SQ.FT. ± 0.31 ACRES 73%
 IMPERVIOUS AREA = ± 4,186 SQ.FT. ± 0.09 ACRES 24%

SEGMENT	BEARING	DIST.
A1-A2	S79°32'00"E	25.06'
A2-A3	S74°25'07"E	87.47'
A3-A4	N83°39'38"E	15.54'
A4-A5	S65°13'53"E	1.96'

TOTAL LINEAR FOOTAGE OF WETLAND SET ON THE PROPERTY = 128.59'



Building - Holly S. Brown - Approved - 6/16/2021
 Site-Engineering - P.O.V. - Michael Martio - Approved - 7/13/2021
 PUD Utility Review - Anthony Artau - Not Applicable - 7/9/2021
 Natural Resources - Mona Hamilton - Approved - 6/24/2021



ABBREVIATIONS

- (C)=CALCULATED
- (M)=MEASURED
- (R)=RECORD
- TYP.= TYPICAL
- P.B. = PLAT BOOK
- P.G. = PAGE
- F.I.R. = FOUND IRON ROD
- F.I.P = FOUND IRON PIPE
- I.D = IDENTIFICATION
- C. DW = CONCRETE DRIVEWAY
- R.R.SPIKE= RAIL ROAD SPIKE
- L.O.P.W.= LINE OF POTABLE WATER

LEGEND

- ⊙ CENTER LINE
- ⊙ PROPERTY CORNER
- ⊔ PROPERTY LINE
- ⊙ MANHOLE (SANITARY SEWER)
- - - LINE OF POTABLE WATER
- SN- LINE OF SANITARY SEWER TO SEPTIC TANK
- ↗ NATURAL FLOW OF WATER

PROPERTY ADDRESS:
 10008 ALSOBROOK AVE
 RIVERVIEW, FL 33578
 (FOLIO No. 076029-0500)

FLOOD ZONE INFORMATION:
 COMMUNITY: HILLSBOROUGH COUNTY-120112
 MAP/PANEL NO. 12057C0502H
 SUFFIX: H
 FIRM DATE: 08/28/2008
 FLOOD ZONE: X AND A

BENCH MARK: GPS-NAIL ELEVATION: 22.04 FEET (NAVD88)

Permitted Plot Plan

Permit # HC-BLD-21-0008168

Name Mona Hamilton

Date 6/24/2021

SCALE: 1" = 30'

PLANS RELEASED FOR CONSTRUCTION
 HC-BLD-21-0008168
 7/13/2021

Hillsborough County Development Services
 Project reviewed for general compliance with standards applicable to this project. Design has not necessarily been reviewed or checked regarding specific design elements or calculations. The engineer of record is fully responsible for the final decision, signed and sealed plans and documents.

<p>PROFESSIONAL SURVEYOR AND MAPPER PHONE: (813) 423-3483 FAX: (813) 398-0111 www.gpsflorida.net</p>	ORIGINAL FIELD DATE: 04/28/2020 REVISIONS:	JOB NO. 17-0677-2 DRAWN JCR-AR	SHEET 1/1	Digitally signed by Julio C Rodriguez DN: c=US, o=Unaffiliated, ou=A01410C00000175DDC09CC30003D8B, cn=Julio C Rodriguez 'Date: 2021.05.26 11:32:19 -04'00		THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JULIO C. RODRIGUEZ (P.S.M) USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
	Hillsborough County Development Services					

HILLSBOROUGH COUNTY
PLANS REVIEWED FOR CODE COMPLIANCE
APPROVED
HC-BLD-21-0008168 7/13/2021
GENERAL NOTES:
THIS SET OF PLANS IS DESIGNED TO CONFORM TO THE 2020 FLORIDA BUILDING CODE (7TH EDITION) AND THE 2020 FLORIDA BUILDING CODE (7TH EDITION) - RESIDENTIAL.
IT IS UNLAWFUL TO MAKE CHANGES OR ALTERATIONS TO THESE PLANS WITHOUT THE ISSUANCE OF THIS PERMIT. THE ISSUANCE OF THIS PERMIT SHALL NOT BE HELD TO PERMIT OR APPROVE THE FOLLOWING: COUNTY, STATE OR FEDERAL REGULATIONS.

FLOORS:
LIVE LOAD - 40 P.S.F.
DEAD LOAD - 10 P.S.F.

GARAGE SLAB:
LIVE LOAD - 50 P.S.F.
DEAD LOAD - 10 P.S.F.

ROOF:
LIVE LOAD (TRUSS TOP CHORD) - 20 P.S.F.
DEAD LOAD (TRUSS TOP CHORD) - 10 P.S.F. (15 P.S.F. WHEN TILE ROOFING IS INSTALLED)
DEAD LOAD (TRUSS BOTTOM CHORD) - 10 P.S.F.
ASSUMED TRUSS SELF WEIGHT (DEAD LOAD) - 7 P.S.F.

WIND:
BUILDING IS DESIGNED TO CONFORM TO ASCE 7-10, CHAPTERS 26 THRU 31; PER 2020 FLORIDA BUILDING CODE, RESIDENTIAL - SECTION R301.2.1.1. AND 2020 FLORIDA BUILDING CODE (7TH EDITION) SECTION 1609.1.1.

COMPONENT & CLADDING WIND LOADS (150)

BUILDING ZONE	ROOF OVERHANG LOADS	ALL OTHER COMPONENT LOADS
1	N/A	+37.0/-40.5
2	-75.5	+37.0/-64.5
3	-126.9	+37.0/-102.2
4	N/A	+40.5/-43.9
5	N/A	+40.5/-54.9

WIND DESIGN ASSUMPTIONS:
BUILDING EXPOSURE - B
BUILDING RISK CATEGORY - II
MEAN ROOF HEIGHT 30' OR LESS
HEIGHT & EXPOSURE ADJUSTMENT COEFFICIENT = 1.0
ENCLOSED BUILDING
INTERNAL PRESSURE COEFFICIENT = +/- 0.18
WIND SPEED SHOWN AT THE BOTTOM RIGHT CORNER OF THIS SHEET

ALL STRUCTURAL ELEMENTS, EXTERIOR WALLS AND INTERIOR WALLS SHALL BE TYPE V CONSTRUCTION PER FBC 602.5

SOIL BEARING & COMPACTION:
THESE PLANS WERE DRAWN BASED UPON AN ALLOWABLE SOIL BEARING CAPACITY OF 2,000 P.S.F. (MINIMUM). THE CONTRACTOR/PROPERTY OWNER ARE RESPONSIBLE FOR VERIFYING THAT THE SOIL ON THE SITE IS PROPERLY PREPARED & COMPACTED SUCH THAT IT CAN SUPPORT A 2,000 P.S.F. FOUNDATION LOADING.

RALPH MERVINE: A REGISTERED, LICENSED, FLORIDA PROFESSIONAL STRUCTURAL ENGINEERING COMPANY, DESIGNED THESE FOUNDATIONS WITHOUT VISITING THE CONSTRUCTION SITE NOR PERFORMING ANY SOIL TESTING.

RALPH MERVINE SHALL NOT BE RESPONSIBLE FOR THE SITE SOILS ABILITY TO SUPPORT THE BUILDING LOADS.

FOUNDATIONS & SLAB-ON-GRADE:
BUILDING SITE SHALL BE SCRAPED TO REMOVE ALL ORGANIC MATERIALS WITHIN THE BUILDING AREA. ANY ADDITIONAL FILL PLACED ON THE BUILDING PAD AREA, SHALL BE COMPACTED SUCH THAT IT CAN ADEQUATELY SUPPORT A 2,000 P.S.F. FOUNDATION LOADING. SLAB SHALL BE PLACED OVER A 6 MIL VAPOR BARRIER ON CLEAN, ADEQUATELY COMPACTED AND TERMITES POISONED SOIL. CONCRETE UTILIZED IN THE FOUNDATIONS AND SLABS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2,500 P.S.I.

REINFORCING STEEL SHALL BE GRADE 40 MINIMUM AND IDENTIFIED IN ACCORDANCE WITH ASTM A-615. LAP SPLICES, WHERE REQUIRED, SHALL BE A MINIMUM OF 25" FOR #5 REBAR, 30" FOR #6 REBAR & 35" FOR #7 REBAR.

PLANS ARE ENGINEERED FOR A MAXIMUM STEMWALL HEIGHT OF 4 COURSES (AFTER FINAL SITE GRADING). THE CONTRACTOR OR BUILDING OWNER SHALL DETERMINE THE EXACT STEMWALL HEIGHT BASED UPON SITE CONDITIONS PRIOR TO POURING THE FOUNDATION AND CONTACT RALPH MERVINE WHEN MORE THAN 4 COURSES ARE REQUIRED.

A FOUNDATION SURVEY SHALL BE PERFORMED AND A COPY OF THE SURVEY SHALL BE ON THE SITE FOR THE BUILDING INSPECTORS USE, OR ALL PROPERTY MARKERS SHALL BE EXPOSED AND A STRING STRETCHED FROM MARKER TO MARKER TO VERIFY THE REQUIRED BUILDING SETBACKS.

MASONRY WALLS:
CONCRETE MASONRY UNITS SHALL BE HOLLOW UNIT MASONRY IN ACCORDANCE WITH ASTM C-90 AND SHALL HAVE A MINIMUM FM OF 1,500 P.S.I.
MORTAR SHALL CONFORM TO ASTM C-270 AND SHALL BE EITHER TYPE M OR S.
REINFORCING STEEL SHALL BE GRADE 40 MINIMUM AND IDENTIFIED IN ACCORDANCE WITH ASTM A-615. LAP SPLICES, WHERE REQUIRED, SHALL BE A MINIMUM OF 25" FOR #5 REBAR, 30" FOR #6 REBAR & 35" FOR #7 REBAR.

GROUT FOR THE POURED CELLS AND LINTELS SHALL HAVE A MAXIMUM COURSE AGGREGATE SIZE OF 3/8", PLACED AT AN 8 TO 11 INCH SLUMP AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2,500 P.S.I. (WHEN TESTED PER ASTM C-1019).

PROVIDE CLEAN-OUT OPENINGS (12 SQ. IN.) IN CELLS CONTAINING SPLICED REINFORCEMENT, WHEN THE GROUT POUR EXCEEDS 5 FEET IN HEIGHT.

TIMBER MATERIALS:
ALL TIMBER MATERIALS SHALL BE AS FOLLOWS:
LVL BEAMS SHALL BE (1.9E) MICROLAM LVL MATERIALS MANUFACTURED BY TRUSJOIST MACMILLAN (OR EQUAL).
LUMBER UTILIZED IN BOTTOM PLATES, TOP PLATES, POSTS, STUD PACKS AND BEAMS SHALL BE #2 YELLOW PINE (OR BETTER).
EXTERIOR AND INTERIOR LOAD BEARING STUDS SHALL BE #2 SPRUCE (OR BETTER). ALL OTHER STUDS SHALL BE "STUD GRADE" SPRUCE.
PSL POSTS SHALL BE (1.8E) PARALLAM PSL MATERIALS MANUFACTURED BY TRUSSJOIST MACMILLAN (OR EQUAL). SEE "POST SUPPORT TABLE" ON THIS SHEET FOR LOAD VALUES.

EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 1/2" PLYWOOD OR 7/16 O.S.B. (2-M-W RATING) NAILED WITH 8D NAILS SPACED AT 3" O.C. ALONG ALL HORIZONTAL JOINTS & EDGES; 6" O.C. ALONG ALL VERTICAL JOINTS & EDGES AND 12" O.C. ALONG ALL INTERMEDIATE STUDS.

AT OPENINGS 5'-0" WIDE OR LARGER, STRAP HEADER BEAM TO THE HEADER STUDS WITH (2) USP OR SIMPSON "LSTA24" STRAP TIES AT EACH END OF HEADER BEAM. ANCHOR BOTTOM OF HEADER STUDS TO FOUNDATION WITH A USP OR SIMPSON "HTT16" TENSION TIE.

ANCHOR WOOD SHEARWALL SEGMENTS TO FOUNDATION WITH A USP OR SIMPSON "HTT16" TENSION TIE AT EACH END OF WALL SEGMENTS AND AT ANY WALL SEGMENT INTERSECTIONS (BUILDING CORNERS).

**ANCHOR TRUSSES AS FOLLOWS:
ROOF UPLIFTS OF 455# AND LESS USE (1) USP "RT3" OR SIMPSON "H3" HURRICANE TIE.
FOR UPLIFTS FROM 456# UP TO 910# USE (2) USP "RT3" OR SIMPSON "H3" HURRICANE TIE.
UPLIFTS FROM 911# UP TO 1,450# USE A USP "HTW20" OR SIMPSON "HTS20" TWIST STRAP.**

ALL PLUMBING, ELECTRICAL AND MECHANICAL ROUGH-INS MUST BE COMPLETE, INSPECTED AND APPROVED PRIOR TO REQUESTING THE FRAMING INSPECTION.

IF DESIRED, EQUIVALENT CONNECTORS MADE BY ANOTHER SUPPLIER MAY BE USED IN PLACE OF THE "USP" OR "SIMPSON" CONNECTORS SHOWN.

PERMITTED TO CONSTRUCT:
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**Hillsborough County
Development Services**

Project reviewed for general compliance with standards applicable to this project. Design has not necessarily been reviewed or checked regarding specific design elements or calculations. The engineer of record is fully responsible for the final decision, signed and sealed plans and documents.

SOIL TERMITE TREATMENT: PER FBC 2304.11 & FBC-RESIDENTIAL R318

TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITOCIDES, INCLUDING SOIL-APPLIED PESTICIDES, BAITING SYSTEMS AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PROTECTION, THE INTIAL CHEMICAL SOIL TREATMENT INSIDE THE FOUNDATION PERIMETER SHALL BE DONE AFTER ALL EVACUATION, BACKFILLING AND COMPACTING IS COMPLETE (PER FBC 1816.1.1)

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PROTECTION, SOIL AREA DISTRIBUTED AFTER INITIAL CHEMICAL SOIL TREATMENT SHALL BE RETREATED WITH A CHEMICAL SOIL TREATMENT, INCLUDING SPACES BOXED AND FORMED (PER FBC 1816.1.2)

IF DOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PROTECTION, SPACE IN CONCRETE FLOORS BOXED OUT OR FORMED FOR THE SUBSEQUENT INSTALLATION OF PLUMBING TRAPS, DRAINS OR ANY OTHER PURPOSE SHALL BE CREATED BY USING PLASTICS OR METAL PERMANENTLY PLACED FORMS OF SUFFICIENT DEPTH TO ELIMINATE ANY PLANNESED SOIL DISTURBANCE AFTER INITIAL CHEMICAL SOIL TREATMENT (PER FBC 1816.1.3.)

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PROTECTION, CHEMICALLY TREATED SOIL SHALL BE PROTECTED WITH A MINIMUM 6 MILLIMETER VAPOR RETARDER TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREATMENT IS REQUIRED. ANY WORK, INCLUDING PLACEMENT OF REINFORCED STEEL, DONT AFTER CHEMICAL TREATMENT UNTIL THE CONCRETE FLOOR IS TREATED IS POURED, SHALL BE DONE IN SUCH A MANNER AS TO AVOID PENETRATING OR DISTURBING TREATED SOLID (PER FBC 1816.1.4.)

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PROTECTION, CONCRETE OVERPOUR OR MORTOR ACCUMULATED ALONG THE EXTERIOR FOUNDATION SHALL BE REMOVED PRIOR TO EXTERIOR CHEMICAL SOIL TREATMENT TO ENHANCE VERTICAL PENETRATION OF THE CHEMICALS (PER FBC 1816.1.5.)

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PROTECTION, CHEMICAL SOIL TREATMENTS SHALL ALSO BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1 FOOT (305MM) OF THE PRIMARY STRUTURE SIDEWALLS. ALSO VERTICAL CHEMICAL BARRIER SHALL BE APPLIED PROMPTLY AFTER CONSTRUCTION IN COMPLETED, INCLUDING INITIAL LANDSCAPING AND IRRIGATION/SPRINKLER INSTALLATION. ANY SOIL DISTURBED AFTER THE CHEMICAL VERTICAL BARRIER IS APPLIED SHALL BE PROMPTLY RETREATED (PER FBC 1816.1.6)

IF A REGISTERED TERMITOCIDE FORMULATED AND REGISTERED AS A BAIT SYSTEM IS USED FOR SUBTERRANEAN TERMITE PROTECTION, FBC 1816.1.1. THROUGH 1816.1.6. DO NOT APPLY; HOWEVER, A SIGNED CONTRACT ASSURING THE INSTALLATION, MAINTENANCE AND MONITORING OF THE BAITING SYSTEM FOR A MINIMUM OF 5 YEARS FROM THE ISSUE OF THE CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED TO THE BUILDING OFFICIAL PRIOR TO THE POURING OF THE SLAB, AND THE SYSTEM MUST BE INSTALLED PRIOR TO THE FINAL BUILDING APPROVAL. IF THE BAITING SYSTEM DIRECTIONS FORUSE REQUIRE A MONITORING PHASE PRIOR TO INSTALLATION OF THE PESTICIDE ACTIVE INGREDIENT, THE INSTALLATION OF THE MONITORING PHASE COMPONENTS SHALL BE DEEMED TO CONSTITUTE INSTALLATION OF THE SYSTEM (PER FBC 1816.1.7)

IF A REGISTERED TERMITOCIDE FORMULATED AND REGISTERED AS A WOOD TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SECTION 1816.1.1 THROUGH 1816.1.6. DO NOT APPLY. APPLICATION OF THE WOOD TREATMENT TERMITOCIDE SHALL BE AS REQUIRED BY LABEL DIRECTIONS FOR USE, AND MUST BE COMPLETED PRIOR TO FINAL BUILDING APPROVAL. CHANGES IN FRAMING OR ADDITIONS TO FRAMING IN AREAS OF THE STRUCTURE REQUIRING TREATMENT THAT OCCUR AFTER THE INITIAL WOOD TREATMENT MUST BE TREATED PRIOR TO FINAL BUILDING APPROVAL (PER FBC 1816.1.8.)

PROTECTIVE SLEEVES AROUNDING PIPING PENETRATING CONCRETE SLAB-ON-GRADE FLOORS SHALL NOT BE CELLULOSE-CONTAINING MATERIALS. IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PROTECTION PROTECTION, THE SLEEVE SHALL HAVE A MAXIMUM WALL THICKNESS OF 0.10 INCH (0.254 MM), AND BE SEALED WITH THE SLAB USING A NON CORROSIVE CLAMPING DEVICE TO ELIMINATE THE ANNULAR SPACE BETWEEN THE PIPE AND THE SLEEVE. NO TERMITOCIDES SHALL BE APPLIED INSIDE THE SLEEVE (PER FBC 1816.2)

TRUSSES:
IF THE CONTRACTOR, TRUSS MANUFACTURER OR ANY OTHER DESIGN PROFESSIONALS REVISE THE TRUSS SYSTEM LAYOUT FROM THOSE SHOWN ON THESE PLANS RALPH MERVINE IS REQUIRED TO REVIEW ALL FINAL CONSTRUCTION DOCUMENTS FOR COMPLIANCE WITH THE DESIGN INTENT PRIOR TO COMMENCEMENT OF THE PROJECT.

EXTERIOR WINDOWS & DOOR ASSEMBLIES:
ALL EXTERIOR WINDOW & GLASS DOORS SHALL BE TESTED IN ACCORDANCE WITH ANS/AMMA/NWDA 101/52 STANDARDS AND BEAR AN AMMA OR WDMA LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT TESTING ENTITY.
ALL MULLIONS AND ADJACENT DOOR/WINDOW ASSEMBLIES SHALL BE TESTED OR ENGINEERED TO TRANSFER 1.5 TIMES THE DESIGN LOADS TO THE ROUGH OPENING SUBSTRATE.
INSTALL ALL WINDOW & DOOR ASSEMBLIES PER THE MANUFACTURERS ANCHORING RECOMMENDATIONS TO ACHIEVE THE DESIGN PRESSURES SPECIFIED.

ELECTRICAL, PLUMBING & MECHANICAL:
IN ACCORDANCE WITH CHAPTER 471.003(2)(i) OF THE FLORIDA ADMINISTRATIVE CODE; ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS SHALL BE DESIGNED BY THE RESPECTIVE CONTRACTORS TO MEET ALL APPLICABLE CODES. THE ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS DRAWN HEREON ARE BASED UPON A DESIGN PROVIDED BY THE OWNER TO ADDRESS HIS/HER REQUIREMENTS.
ALL ELECTRICAL OUTLETS IN BATHROOMS, KITCHEN (WITHIN 6 FEET OF SINKS), GARAGE AND AT EXTERIOR LOCATIONS SHALL BE WIRED INTO A GROUND-FAULT INTERRUPTER "GFI" CIRCUIT.
ALL ELECTRICAL OUTLETS IN BEDROOMS SHALL BE WIRED INTO AN ARC-FAULT INTERRUPTER "AFI" CIRCUIT.

SAFETY GLAZING:
THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING PER THE FLORIDA BUILDING CODE (7TH EDITION), RESIDENTIAL - SECTION R308:
(1) GLAZING IN SWINGING DOORS, FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES.
(2) GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE DRAIN INLET.
(3) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH RADIUS OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FINISHED FLOOR OR WALKING SURFACE.
(4) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS (2) AND (3) ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
A) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT.
B) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
C) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
D) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.

DRAFTSTOPPING:
IN SINGLE FAMILY DWELLINGS, DRAFTSTOPPING SHALL BE PROVIDED (PARALLEL TO THE MAIN FRAMING MEMBERS) IN FLOOR/CEILING ASSEMBLIES SEPARATING USEABLE SPACES. DRAFTSTOPPING SHALL BE CONSTRUCTED SUCH THAT THE FLOOR/CEILING ASSEMBLY IS BROKEN UP INTO TWO OR MORE APPROXIMATE AREAS WITH NO AREA GREATER THAN 1000 SQ. FT.

ATTIC ACCESS:
ATTIC ACCESS SHALL BE PROVIDED TO ATTIC AREAS EXCEEDING 30 SQ. FT. AND HAVING MINIMUM 30 INCHES OF VERTICAL HEIGHT. ROUGH-FRAMED OPENING NOT TO BE LESS THAN 22 X 30 INCHES. WHEN MECHANICAL EQUIPMENT IS LOCATED IN THE ATTIC, IT SHALL BE INSTALLED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE (7TH EDITION), RESIDENTIAL - SECTION M1305.1.3

GARAGE:
NO OPENINGS SHALL BE PERMITTED FROM A GARAGE INTO A SLEEPING ROOM. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL HAVE A DOOR (MIN. 1 3/8" THICK), OF SOLID WOOD, SOLID OR HONEYCOMB CORE STEEL, OR 20-MINUTE FIRE-RATED. WALLS SEPARATING THE GARAGE AND RESIDENCE SHALL HAVE MIN. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. THE CEILING SHALL HAVE MIN. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED BY ALL HABITABLE ROOMS ABOVE WITH MIN. 5/8" TYPE-X GYPSUM BOARD IN COMPLIANCE WITH THE FLORIDA BUILDING CODE (7TH EDITION), RESIDENTIAL - SECTION R309

POST SUPPORT TABLE

POST LENGTH	POST SIZE											
	3 1/2" X 3 1/2"		3 1/2" X 5 1/4"		3 1/2" X 7"		5 1/4" X 5 1/4"		5 1/4" X 7"		7" X 7"	
	FLOOR ONLY	ROOF & FLOOR	FLOOR ONLY	ROOF & FLOOR	FLOOR ONLY	ROOF & FLOOR	FLOOR ONLY	ROOF & FLOOR	FLOOR ONLY	ROOF & FLOOR	FLOOR ONLY	ROOF & FLOOR
8'-0"	7,270#	7,716#	10,905#	11,574#	14,539#	15,432#	26,655#	29,565#	35,540#	39,420#		
9'-0"	6,115#	6,441#	9,173#	9,662#	12,231#	12,883#	23,484#	25,631#	31,312#	34,175#		
10'-0"	5,203#	5,449#	7,805#	8,173#	10,407#	10,897#	20,667#	22,300#	27,556#	29,733#		
12'-0"	3,885#	4,033#	5,827#	6,050#	7,770#	8,067#	16,166#	17,180#	21,555#	22,907#		
14'-0"	3,003#	3,099#	4,504#	4,649#	6,005#	6,199#	12,893#	13,566#	17,190#	18,088#	34,168#	36,736#
16'-0"							10,483#	10,952#	13,977#	14,603#	28,498#	30,312#
18'-0"							8,673#	9,013#	11,565#	12,018#	24,027#	25,356#
20'-0"							7,286#	7,540#	9,715#	10,053#	20,481#	21,484#
22'-0"											17,638#	18,413#
24'-0"											15,335#	15,944#

POSTS SHALL BE (1.8E) PARALLAM PSL MATERIALS MANUFACTURED BY TRUSSJOIST MACMILLAN (OR EQUAL).

PRODUCT CODE	DESCRIPTION	FASTENERS	DESIGN LOADS (LBS.)	
			BEARING	UPLIFT
SIMPSON "PC44"	POST CAP 4X4	20-16d	N/A	1470

PRODUCT # 10860.16

PRODUCT CODE	DESCRIPTION	FASTENERS	DESIGN LOADS (LBS.)	
			BEARING	UPLIFT
SIMPSON "PC66"	POST CAP 6X6	20-16d	N/A	1470

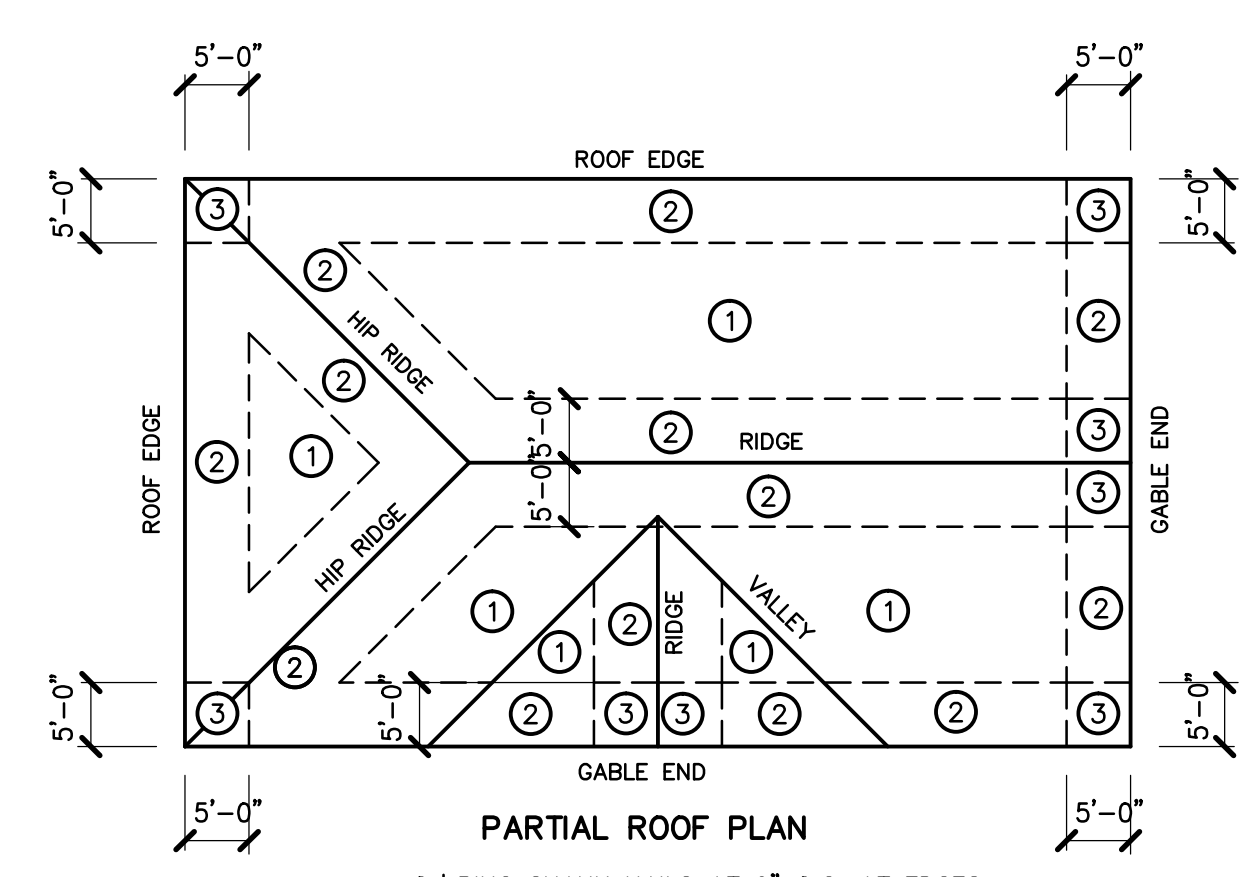
PRODUCT # 10860.17

BEAM TO POST DETAIL
NOT TO SCALE

PRODUCT CODE	DESCRIPTION	FASTENERS	DESIGN LOADS (LBS.)		
			BEARING	UPLIFT	PRODUCT #
SIMPSON "ABU44"	POST ANCHOR 4X4	12-16d	6665	2200	10849.6

PRODUCT CODE	DESCRIPTION	FASTENERS	DESIGN LOADS (LBS.)		
			BEARING	UPLIFT	PRODUCT #
SIMPSON "ABU66"	POST ANCHOR 6X6	12-16d	12000	2300	10849.6

WOOD POST TO SLAB DETAIL
NOT TO SCALE



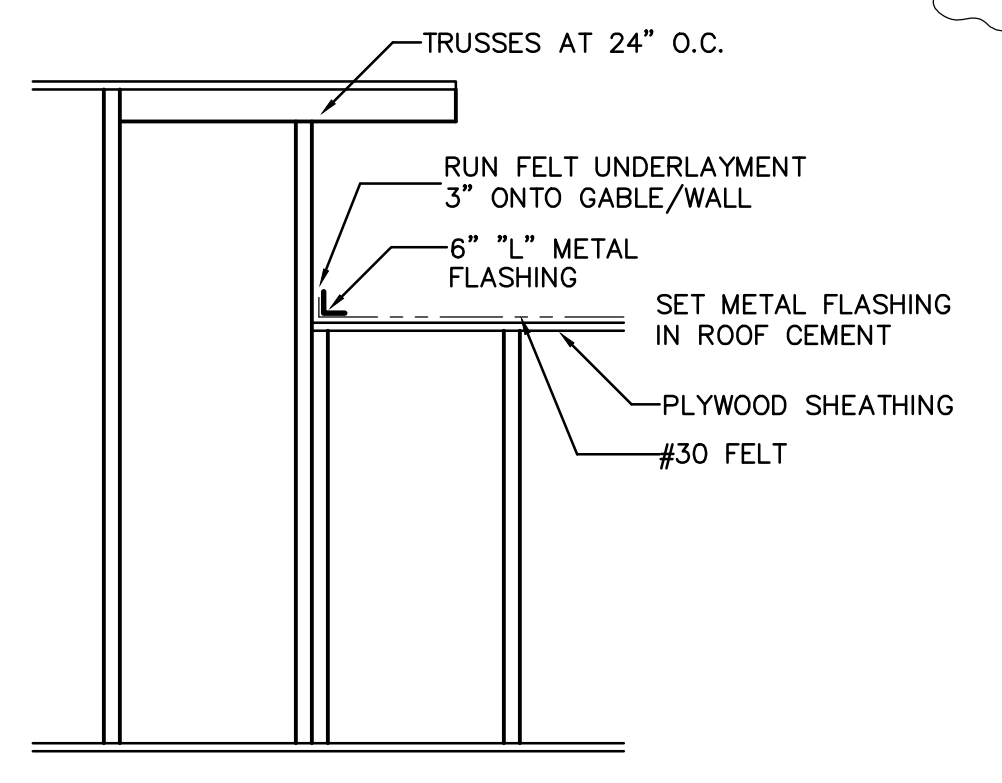
PARTIAL ROOF PLAN

ZONE ① 8d RING SHANK NAILS AT 6" O.C. AT EDGES
8d RING SHANK NAILS AT 6" O.C. INTERMEDIATE

ZONES ②③ 8d RING SHANK NAILS AT 6" O.C., 4" O.C. AT ROOF EDGES, RIDGE LINE, OR CABLE ENDWALL

NOTE: END JOINTS FOR SHEATHING SHALL BE STAGGERED AND OCCUR OVER A FRAMING MEMBER.

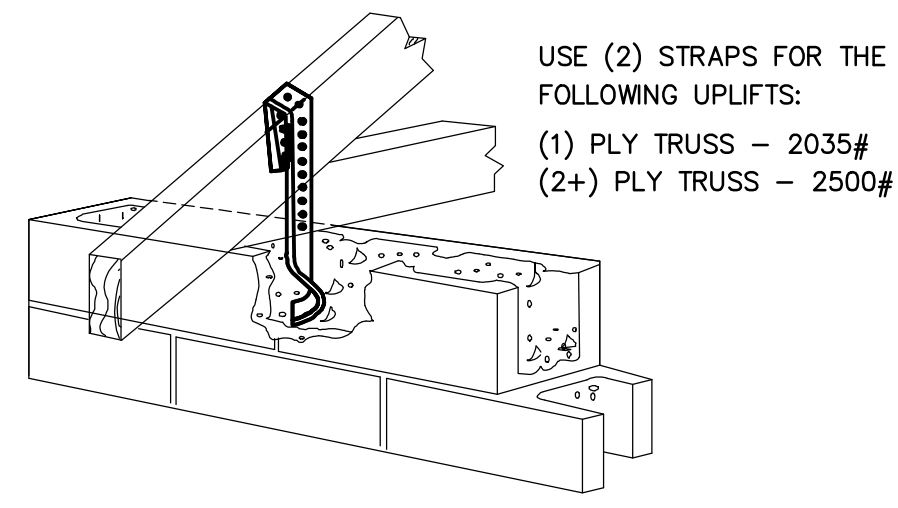
ROOF SHEATHING NAILING
SCALE: 1/4" = 1'-0"



FLASHING DETAIL
SCALE: 1/2" = 1'-0"

PRODUCT CODE	DESCRIPTION	MATERIAL GAUGE	DIMENSION LENGTH	FASTENERS 10d x 1.1"	DESIGN LOADS (LBS.)		
					UPLIFT	FT	F2
SIMPSON "HETA20"	TRUSS ANCHOR	16	20"	10	1805	335	730

PRODUCT # 11473.3



TRUSS TO BLOCK DETAIL
NOT TO SCALE

USE (2) STRAPS FOR THE FOLLOWING UPLIFTS:
(1) PLY TRUSS - 2035#
(2+) PLY TRUSS - 2500#

RALPH MERVINE
4192 STONEHEDGE ROAD
MULBERRY, FLORIDA 33660
PHONE: (813) 508-1700
EMAIL: RBSCARTERSERVICES@GMAIL.COM

MOYA RESIDENCE

General Notes & Details

DATE: 03-15-12
SCALE: AS NOTED
JOB # FBC2014-150-II

SHEET
GN
PERMIT SET

I HEREBY CERTIFY:
THAT THE CONSTRUCTION PLANS SHOWN HEREON ARE IN COMPLIANCE WITH CHAPTER 16, SECTION 1609 OF THE 2020 FLORIDA BUILDING CODE FOR 150 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH THE ENTIRE 2020 FLORIDA BUILDING CODE - (7TH EDITION) RESIDENTIAL.

RALPH MERVINE, P.E. #23128

DATE: _____

HILLSBOROUGH COUNTY

PLANS REVIEWED FOR CODE COMPLIANCE

APPROVED

HC-BLD-21-0008168 7/13/2021

THIS SET OF PLANS MUST BE KEPT ON THE JOB SITE AT ALL TIMES

IT IS UNLAWFUL TO MAKE CHANGES OR ALTERATIONS WITHOUT APPROVAL.

THE ISSUANCE OF THIS PERMIT SHALL NOT BE HELD TO PERMIT OR APPROVE THE VIOLATION OF ANY COUNTY, STATE OR FEDERAL LAW, CODE, OR REGULATION

TOP OF WALL EL. 20'-4"
 TOP OF WINDOW EL. 18'-4"
 2ND LEVEL FIN. FLOOR EL. 11'-4"
 TOP OF WALL EL. 9'-4"
 TOP OF WINDOW EL. 8'-0"
 TOP OF COLUMN EL. 3'-0"
 FIN. FLOOR EL. 0'-0"
 GARAGE EL. (-4")



FRONT ELEVATION

NOTE:

LATHE ATTACHMENT SHALL BE IN ACCORDANCE WITH R703.7.1 OF THE 7TH ADDITION FLORIDA BUILDING CODE.
 PLASTERING SHALL BE IN ACCORDANCE WITH R703.7.2 OF THE 7TH ADDITION FLORIDA BUILDING CODE.
 UNDERLAYMENT SHALL BE IN ACCORDANCE WITH R905.1.1.2 OF THE 7TH ADDITION FLORIDA BUILDING CODE.

CEMENTITIOUS FINISH COMPLIES WITH R703.7 OR STUCCO SHALL BE IN COMPLIANCE WITH ASTM C926, ASTM C1063.

LATHE AND LATHE ATTACHMENTS SHALL BE OF CORROSION RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 1 1/2" LONG, 11 GAGE NAILS HAVING A 7/16" HEAD, OR 1 1/2" LONG, 16 GAGE STAPLES, SPACED AT NO MORE THAN 6 INCHES, OR AS OTHERWISE APPROVED.

WEEP SCREED TO COMPLY WITH R703.7.2.1.3.

WATER RESISTANT BARRIER COMPLIES WITH R703.7.3.6.



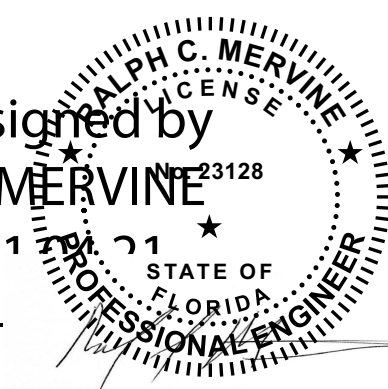
TOP OF WALL EL. 20'-4"
 TOP OF WINDOW EL. 18'-4"
 2ND LEVEL FIN. FLOOR EL. 11'-4"
 TOP OF WALL EL. 9'-4"
 TOP OF WINDOW EL. 8'-0"
 FIN. FLOOR EL. 0'-0"
 GARAGE EL. (-4")

REAR ELEVATION

HOMEOWNER/CONTRACTOR NOTES:

1. ALL PLUMBING AND AIR CONDITIONING LINES SHALL BE DESIGNED BY SUBCONTRACTORS BEFORE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE DESIGNERS (YOMANS DRAFTING) ATTENTION FOR ADJUSTMENTS TO FLOOR PLAN.
2. TRUSS ENGINEERING SHALL BE PROVIDED TO THE DESIGN ENGINEER FOR REVIEW AND IS REQUIRED PRIOR TO ANY COMMENCEMENT OF CONSTRUCTION. TRUSS MANUFACTURER MAY REQUIRE ADDITIONAL FOOTINGS NOT SHOWN. SEE TRUSS DRAWINGS FOR EXACT LOCATIONS OF FOOTINGS.
3. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY THE CONSTRUCTION PLANS FOR DESIGN, SITE CONDITIONS, ETC. PRIOR TO COMMENCING CONSTRUCTION.

RALPH C MERVINE Digitally signed by
RALPH C MERVINE
 Date: 2021-07-13 07:46:58 -



This item has been digitally signed and sealed by RALPH CARTER MERVINE on the date adjacent to the seal
 Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

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RALPH MERVINE, P.E. #23128

DATE:

RALPH MERVINE

4192 STONEHENGE ROAD
 MULBERRY, FLORIDA 33860
 PHONE: (813) 508-1700
 EMAIL: 863CARTERSERVICES@GMAIL.COM

PLANS RELEASED FOR CONSTRUCTION

HC-BLD-21-0008168
 7/13/2021

**Hillsborough County
 Development Services**

Project reviewed for general compliance with standards applicable to this project. Design has not necessarily been reviewed or checked regarding specific design elements or calculations. The engineer of record is fully responsible for the final decision, signed and sealed plans and documents.

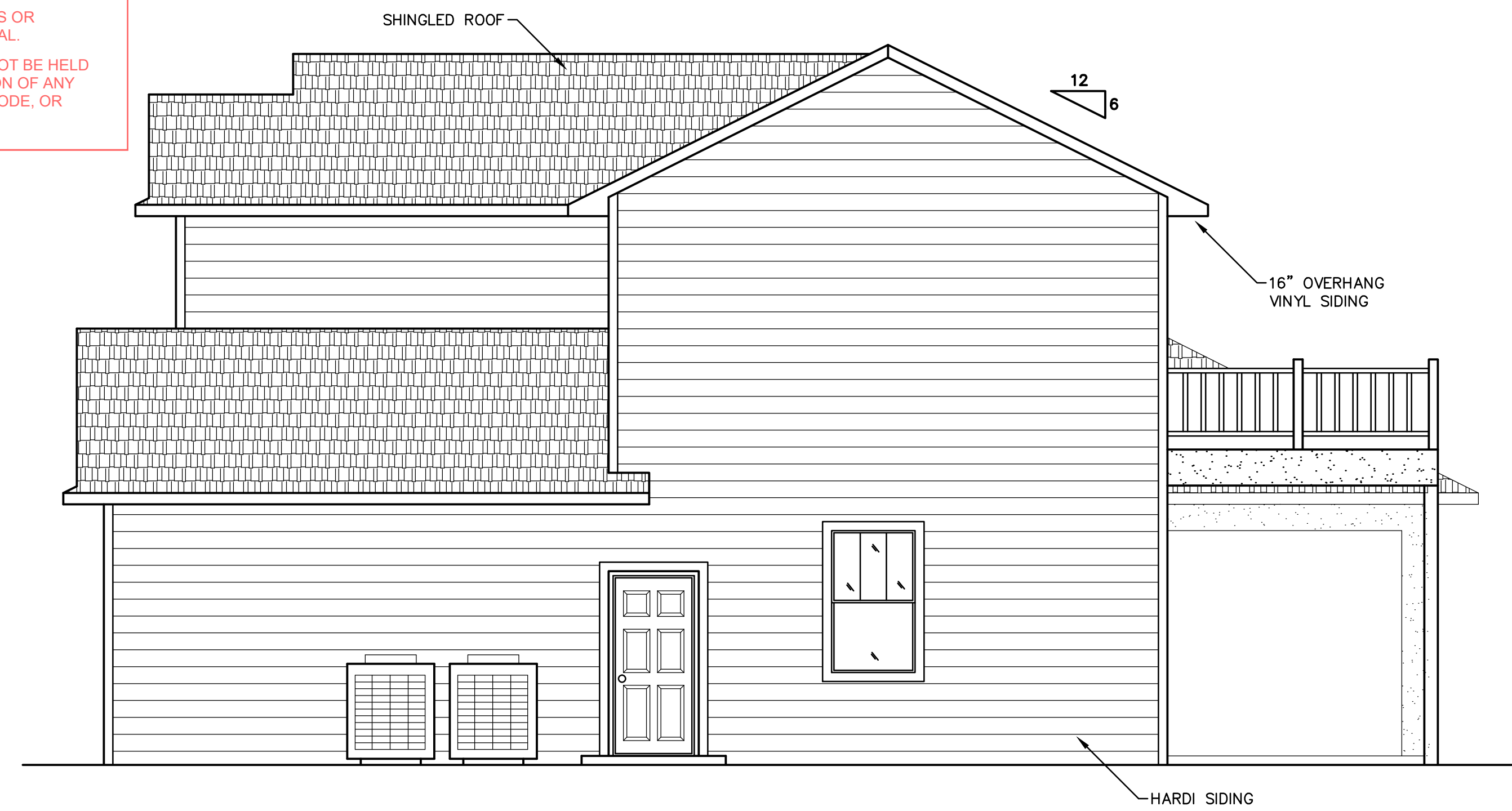
Y O U R M A T E R I A L S
 &
 N I S I N G

CONSTRUCTION PLAN

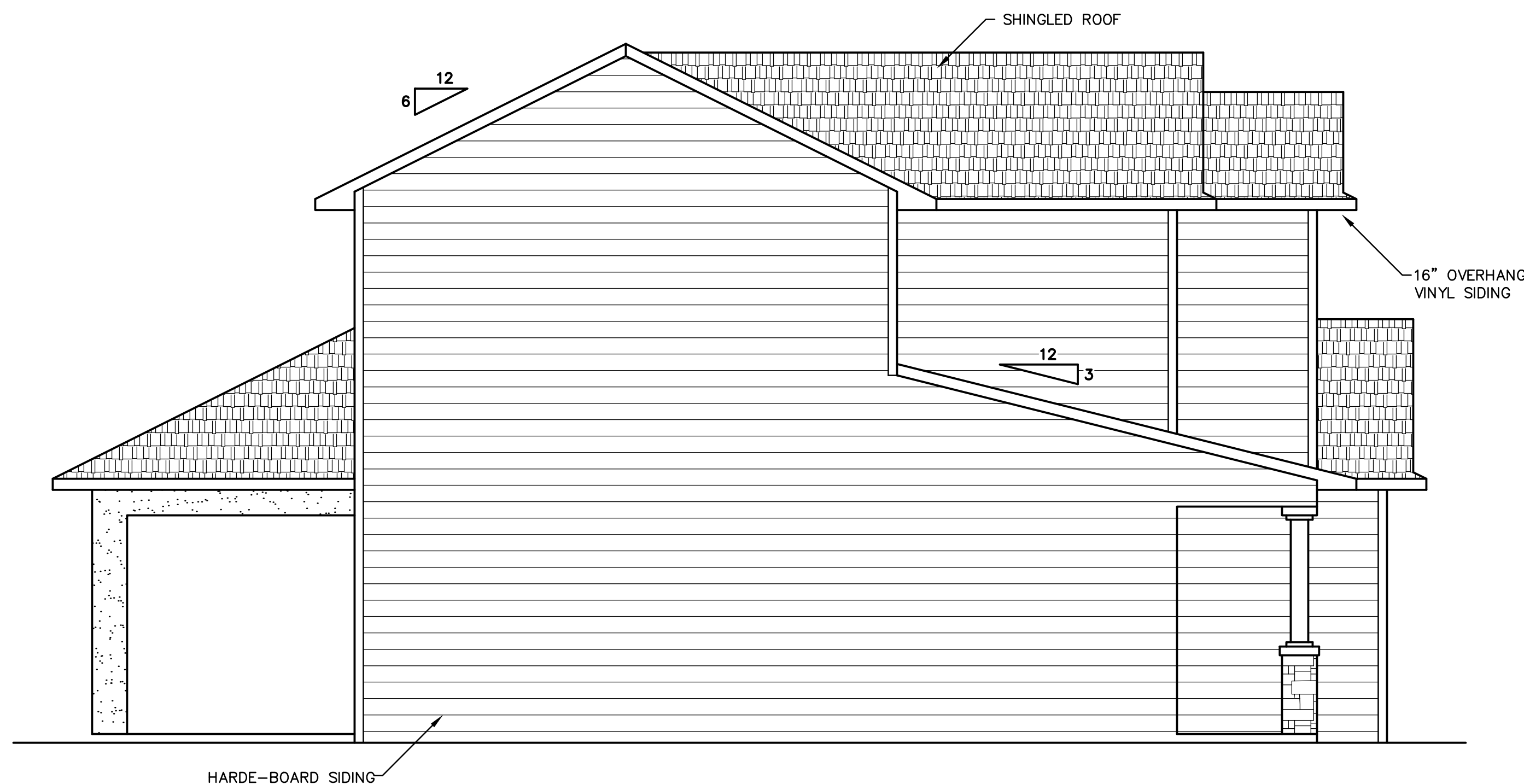
ELEVATIONS
 MOYA RESIDENCE
 10008 ALSOBROOK AVE, RIVERVIEW

DRAWN: E.A.B.
 SCALE: 1/4" = 1'-0"
 CHECKED & APPROVED
 19-177
 SHEET 1

PHONE: (813) 752-3772
 1906 W. THONOTOSASSA ROAD, PLANT CITY, FLORIDA 33563
 FAX: (813) 752-5799



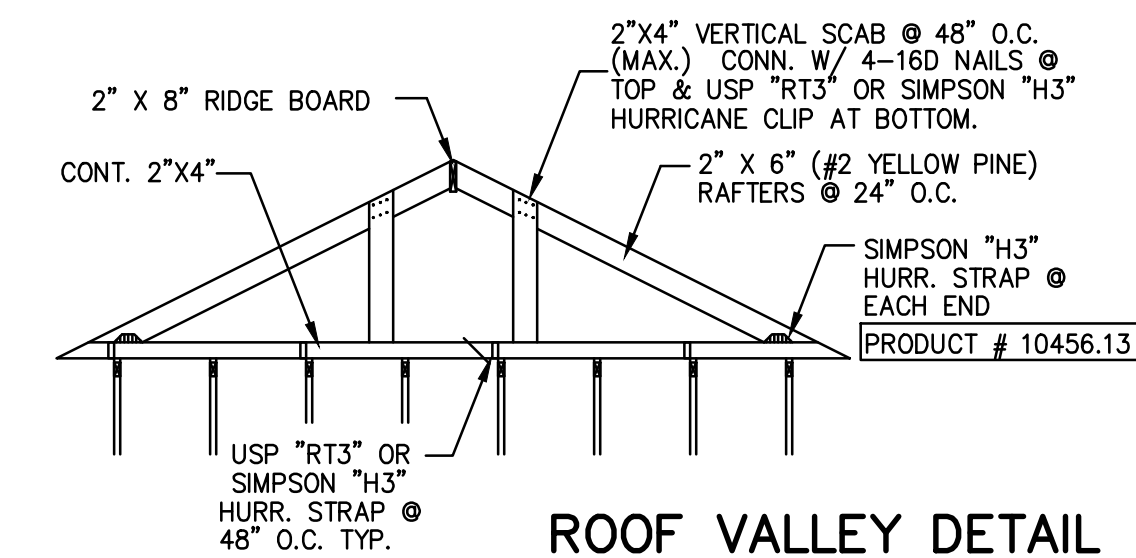
RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

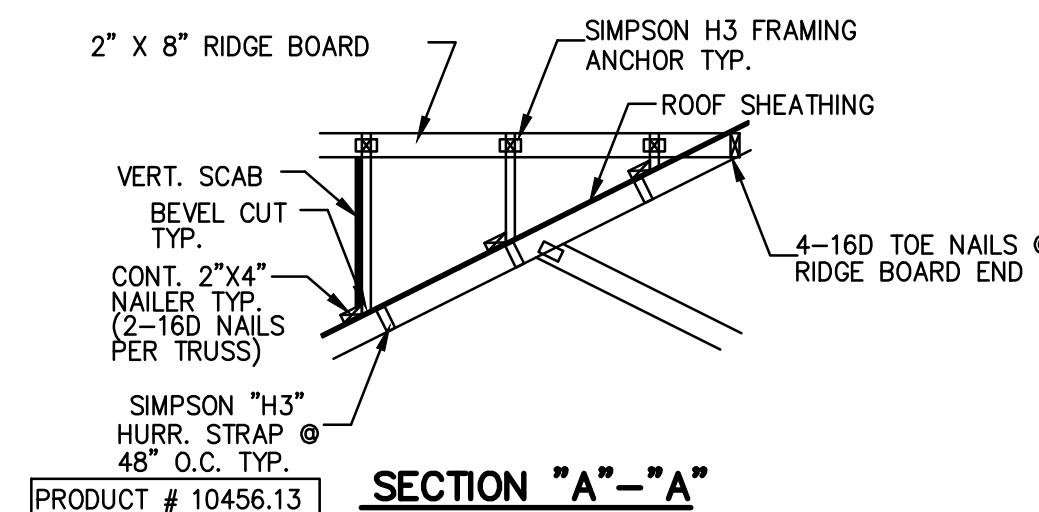
PRODUCT APPROVAL LIST

MANUFACTURER	TYPE	PRODUCT CODE
THERMA TRU	EXTERIOR SWINGING DOORS	FL 5891.1
PGT	FRENCH DOORS	FL 253.4
PGT	SLIDING GLASS	FL 251.10
GAF	SHINGLED ROOF	FL 10124.1
GAF	#30 FELT UNDERLAYMENT	FL 10626.1
PGT	SINGLE HUNG WINDOWS	FL 239.7
PGT	FIXED GLASS	FL 243.6
PLY GEM	VINYL SOFFIT	FL 24161.1
JAMES HARDIE	HARDI-BOARD SIDING	FL 10477.1
OVERHEAD	GARAGE DOOR	FL 11494.1
LOMANCO	RIDGE VENT	FL 3793.1
CAST CRETE	PRE-CAST LINTEL	FL 158.1

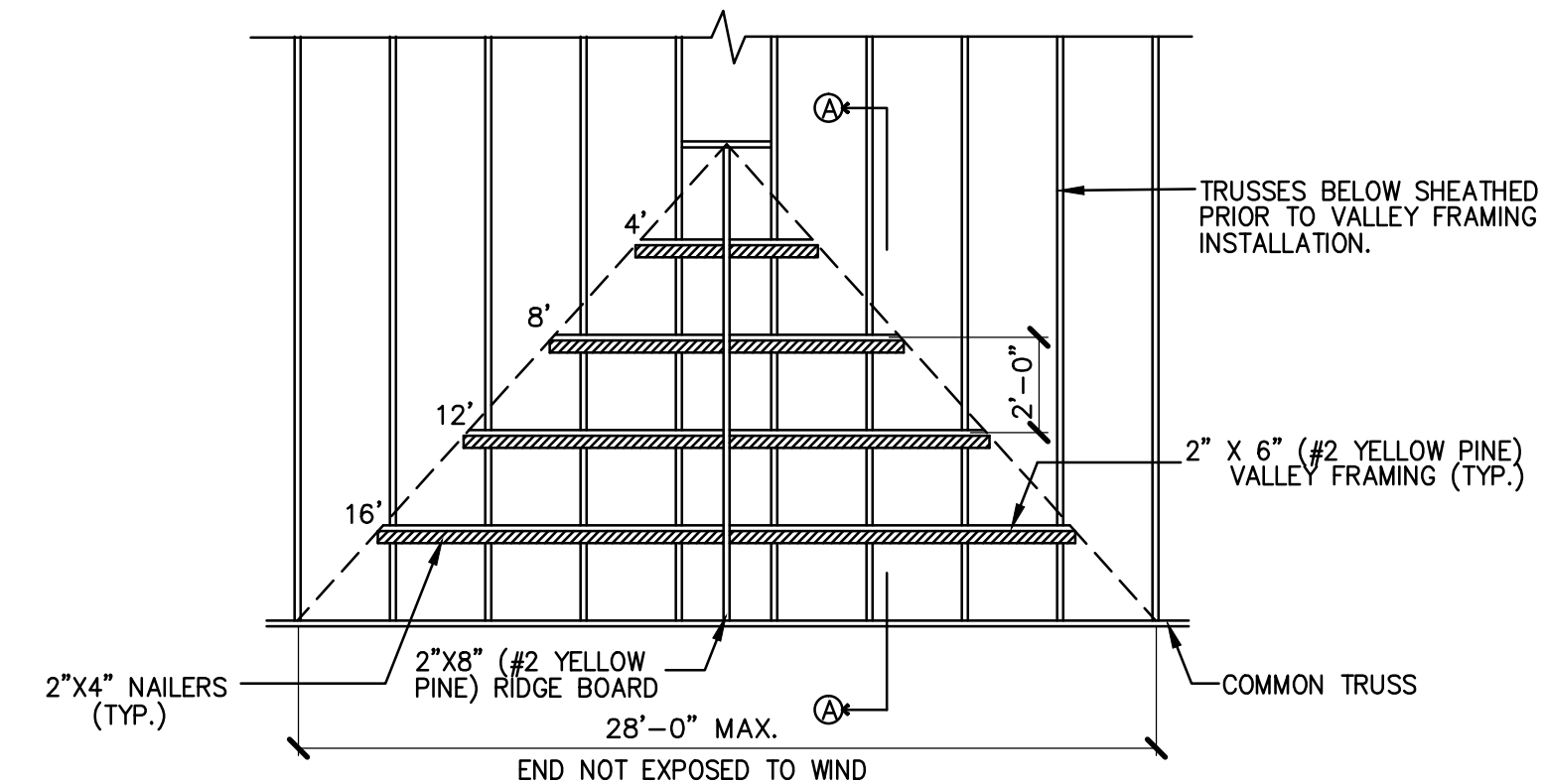


ROOF VALLEY DETAIL

NOT-TO-SCALE



SECTION "A"-A



PLANS RELEASED FOR CONSTRUCTION

HC-BLD-21-0008168
7/13/2021

Hillsborough County
Development Services

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RALPH MERVINE

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MULBERRY, FLORIDA 33860
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EMAIL: 863CARTERSERVICES@GMAIL.COM

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RALPH MERVINE, P.E. #23128

DATE:

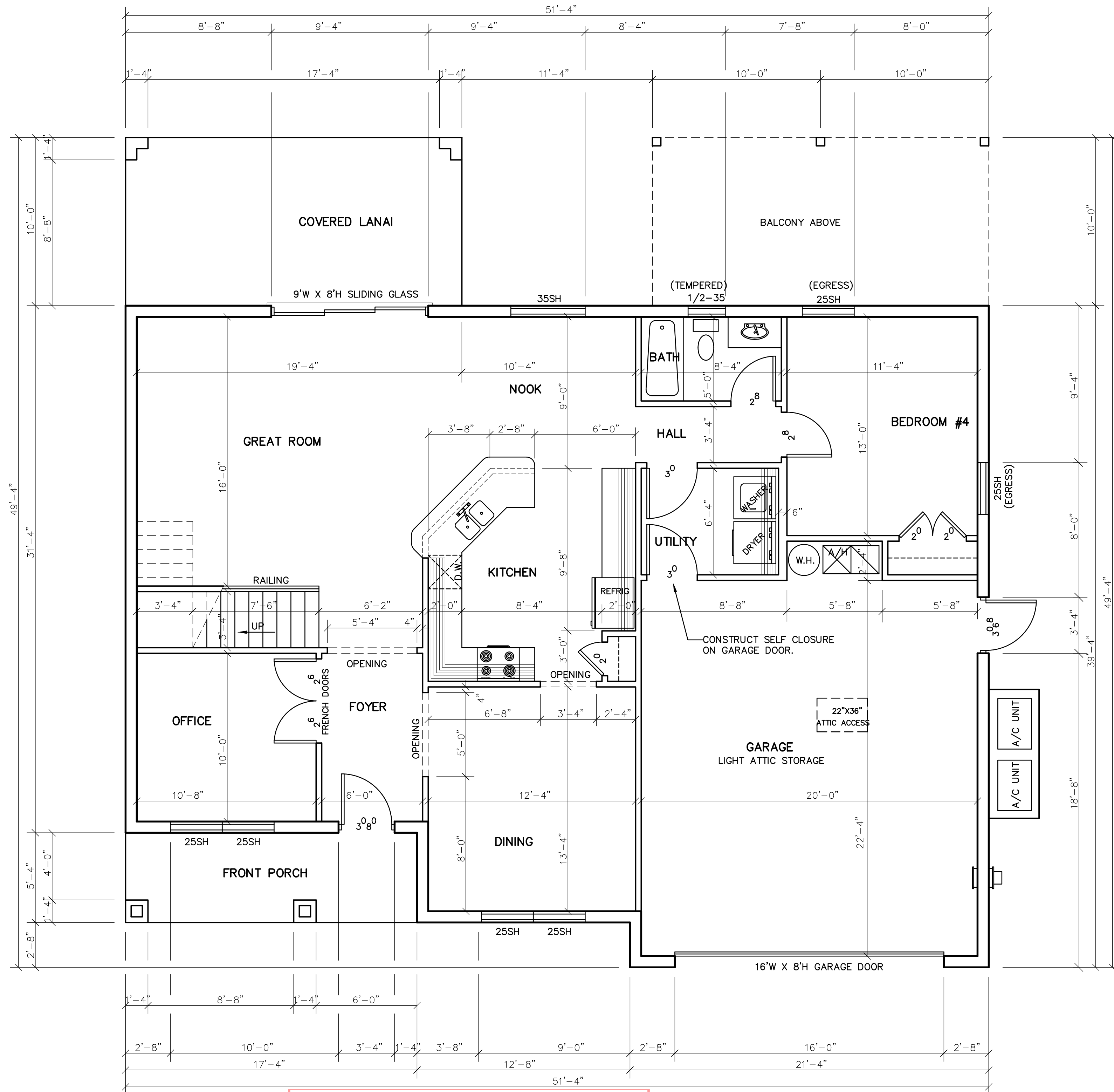
Y O U R A F F E S I O N
 &
 S I S I N G N

PHONE: (813) 752-3772
 1906 W. THONOTOSASSA ROAD, PLANT CITY, FLORIDA 33563
 FAX: (813) 752-5799

CONSTRUCTION PLAN

ELEVATIONS
 MOYA RESIDENCE
 10008 ALSOBROOK AVENUE, RIVERVIEW

DRAWN: E.A.B.
 SCALE: 1/4" = 1'-0"
 CHECKED & APPROVED
 19-177
 SHEET 2



1ST LEVEL LIVING AREA – 1,356
 2ND LEVEL LIVING AREA – 1,213
 GARAGE – 490
 COVERED LANAI – 200
 FRONT PORCH – 92

TOTAL UNDER ROOF – 3,351

UNCOVERED BALCONY – 200

NOTES:

- 1) ALL CONSTRUCTION SHALL CONFORM TO THE FLORIDA BUILDING, PLUMBING CODES LATEST EDITIONS, AND THE NATIONAL ELECTRIC CODE (NEC).
- 2) ALL CONSTRUCTION SHALL CONFORM TO FLORIDA BUILDING CODES.
- 3) ANY CHANGES TO THESE PLANS MUST BE APPROVED BY THE DESIGN ENGINEER AND THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
- 4) THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND BUILDING SETBACK, AND REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- 5) A FLORIDA ENERGY CODE CALCULATION MUST ACCOMPANY THIS PLAN, AND IS PROVIDED BY OTHERS.
- 6) PRE-ENGINEERED TRUSS DESIGN AND CALCULATIONS MUST ACCOMPANY THIS PLAN, AND IS PROVIDED BY OTHERS.
- 7) THE CONTRACTOR IS RESPONSIBLE FOR THE SEWER AND WATER CONNECTIONS.
- 8) ALL FINISHES, COLORS, TEXTURES, AND SPECIAL APPURTENANCES MUST BE SPECIFIED BY THE OWNER OR CONTRACTOR.
- 9) INTERIOR LOAD BEARING FOOTINGS MAY BE REQUIRED AS SPECIFIED IN THE TRUSS ENGINEERING, AND SHALL BE CONSTRUCTED PER DETAIL.
- 10) THE PLUMBER MAY REQUIRE SOME INTERIOR WALLS TO BE 6" THAT ARE NOT SHOWN HERE.
- 11) THE CONTRACTOR IS TO VERIFY THE SLOPE OF THE LOT PRIOR TO CONSTRUCTION. IT MAY BE NECESSARY TO DESIGN SPECIAL FOOTINGS WHICH ARE NOT SHOWN HERE. PLEASE NOTE THE LIMITATIONS OF THE FOOTINGS SHOWN IN THE DETAILS.

- * USE 8" BOND BEAM
- * CONTRACTOR TO PROVIDE RATED WINDOWS & DOORS

DRAWING NOTES:

GARAGE DOOR:
 BOLT 2 X 6 P.T. LUMBER WITH 3 - 1/2" DIA. BOLTS AND 2" DIA WASHERS AT EACH SIDE OF MASONRY OPENING.

- - THIS SYMBOL REPRESENTS A #5 REBAR CONTINUOUS FROM FOOTING TO BOND BEAM IN A CONCRETE GROUTED MASONRY BLOCK CELL. (LOCATE AS SHOWN ON THE FOUNDATION PLAN.)
- - THIS SYMBOL REPRESENTS A SIMPSON "HTTS" HEAVY HOLD OR 1/2" ALL THREADED ROD OPTION. (LOCATE AS SHOWN ON THE FLOOR PLAN.)

8 X 8 X 16 NOMINAL CONCRETE BLOCKS

NOMINAL 2X4" WOOD STUD WALLS
 NOTE: DIMENSIONS ARE SHOWN TO NOMINAL ROUGH WOOD FRAME AND NOMINAL MASONRY UNITS. INTERIOR WALLS ARE SHOWN AT 4" AND MASONRY WALLS ARE SHOWN AT 8" UNLESS NOTED. INTERIOR CLEAR DIMENSIONS VARY DUE TO CHANGES IN FINISH MATERIALS.

--- GIRDER LOCATIONS

PLANS RELEASED FOR CONSTRUCTION

FLOOR PLAN
 HC-BLD-21-0008168
 1ST LEVEL
 7/13/2021

Hillsborough County
 Development Services

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RALPH MERVINE

4192 STONEHENGE ROAD
 MULBERRY, FLORIDA 33860
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 EMAIL: 863CARTERSERVICES@GMAIL.COM

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RALPH MERVINE, P.E. #23128

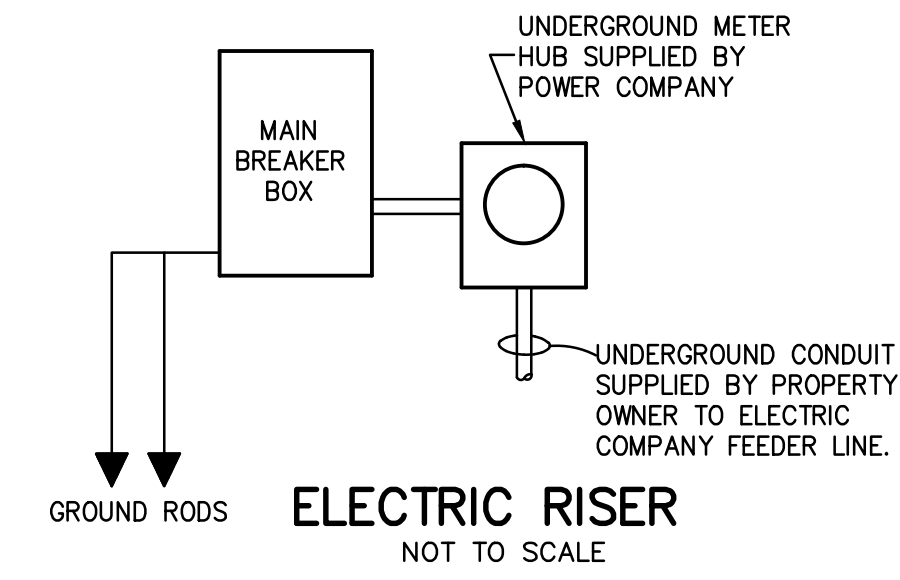
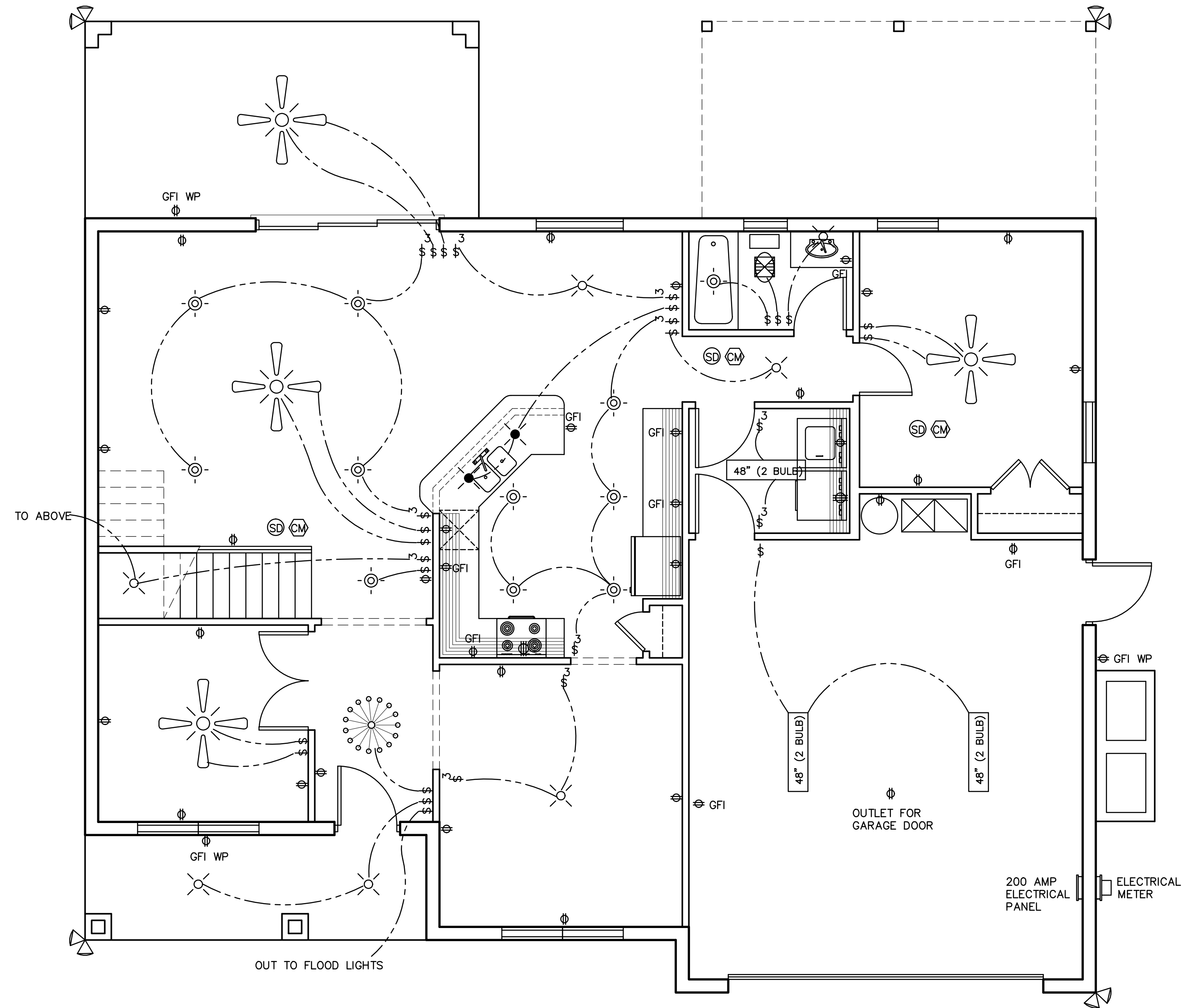
DATE: _____

YOUR MATE & SONS INC
 1906 W. THONDTASSA ROAD; PLANT CITY, FLORIDA 33563
 PHONE: (813) 752-3772
 FAX: (813) 752-5799

CONSTRUCTION PLAN

FLOOR PLAN (1ST LEVEL)
 MOYA RESIDENCE
 10008 ALSOBROOK AVENUE, RIVERVIEW

DRAWN: E.A.B.
 SCALE: 1/4" = 1'-0"
 CHECKED & APPROVED
 19-177
 SHEET 3



ELECTRICAL LEGEND:

- S - WALL SWITCH
- S³ - (3)WAY SWITCH
- WP - WEATHER PROOF
- GF - GROUND FAULT
- AFI - ARC FAULT
- 110 - 110 OUTLET
- 220 - 220 OUTLET
- CM - CARBON MONOXIDE DETECTOR
- SD - SMOKE DETECTOR
- EF - EXHAUST FAN
- BP - BREAKER PANEL
- DL - DROP LIGHTS
- FL - FLOOD LIGHTS
- CL - CEILING LIGHT
- RL - RECESSED LIGHT
- FL/L - FAN/LIGHT
- 48" - 48" (2-BULB)
- 24" - 24" (2-BULB)
- WS - WALL SCONCE

NOTE:

1. SMOKE DETECTOR - SMOKE BRK, MODEL #SC9120B UL #217 & #2034
2. CARBON MONOXIDE DETECTOR - SMOKE BRK, MODEL #9120B UL #217

ELECTRICAL NOTES:

- 1) ALL ELECTRICAL CONSTRUCTION AND/OR MODIFICATIONS SHALL CONFORM WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE [N.E.C.]
- 2) MINIMUM WIRE SIZE SHALL BE NO. 14 THW CU.
- 3) ALL OUTLETS TO BE AFI UNLESS OTHERWISE NOTED.
- 4) REQUIRED SERVICE SHALL BE DETERMINED BY THE LOCAL SUPPLYING ELECTRIC COMPANY AND/OR AGENCY.
- 5) VERIFY EXACT LOCATIONS OF OUTLETS, SWITCHES, ETC., WITH OWNER AND/OR GENERAL CONTRACTOR.

ELECTRICAL PLAN

PLANS RELEASED FOR CONSTRUCTION

HC-BLD-21-0008168
7/13/2021

Hillsborough County
Development Services

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RALPH MERVINE

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MULBERRY, FLORIDA 33860
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EMAIL: 863CARTERSERVICES@GMAIL.COM

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RALPH MERVINE, P.E. #23128

DATE: _____

Y O U R M A T E R I A L S
 S I S T E M S
 N I S I N G
 N
 P H O N E : (8 1 3) 7 5 2 - 3 7 7 2
 F A X : (8 1 3) 7 5 2 - 5 7 9 9
 1 9 0 6 W. T H O N D O S A S S A R O A D , P L A N T C I T Y , F L O R I D A 3 3 5 6 3

CONSTRUCTION PLAN

ELECTRICAL PLAN (1ST LEVEL)
 MOYA RESIDENCE
 10008 ALSOBROOK AVENUE, RIVERVIEW

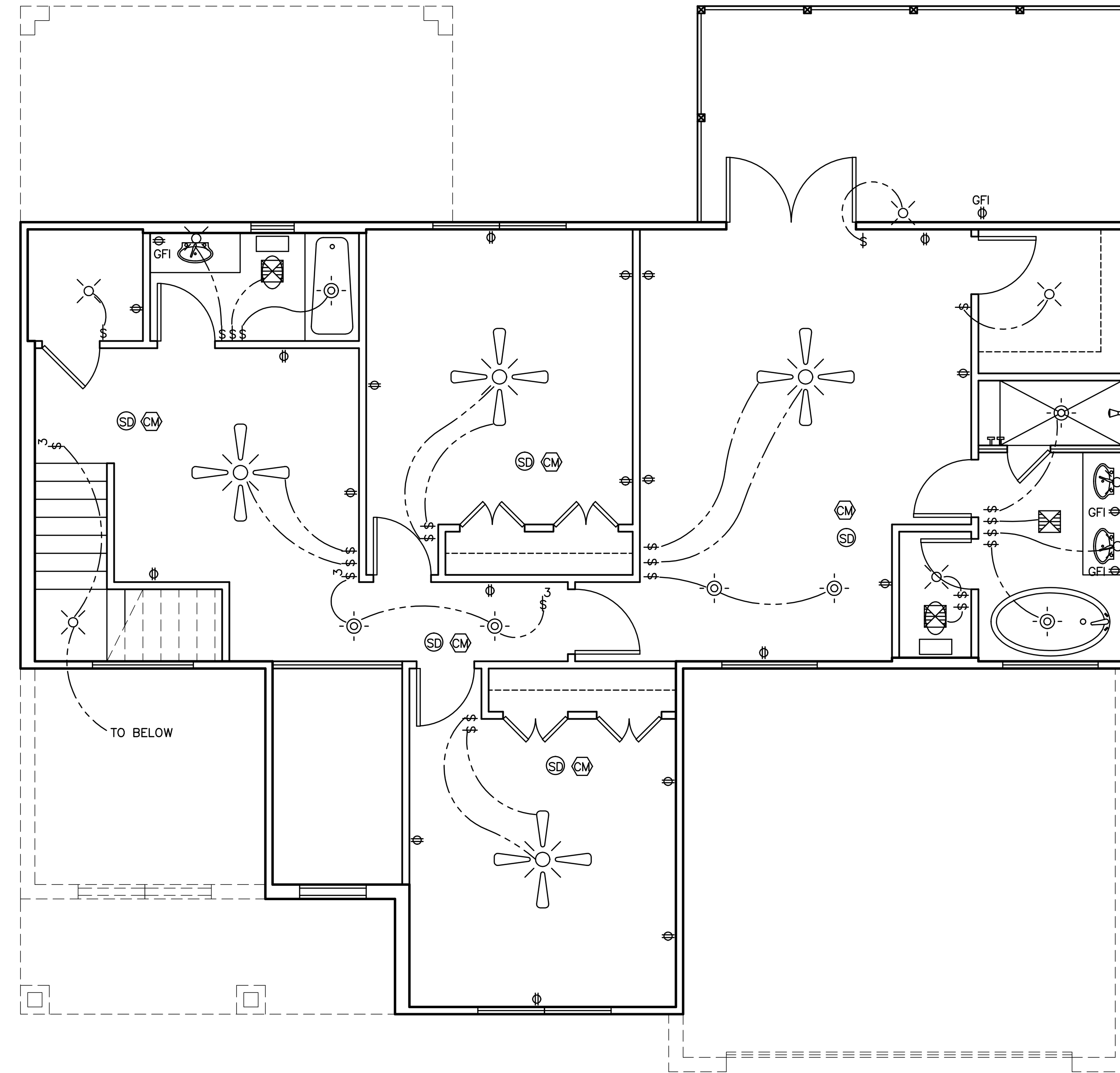
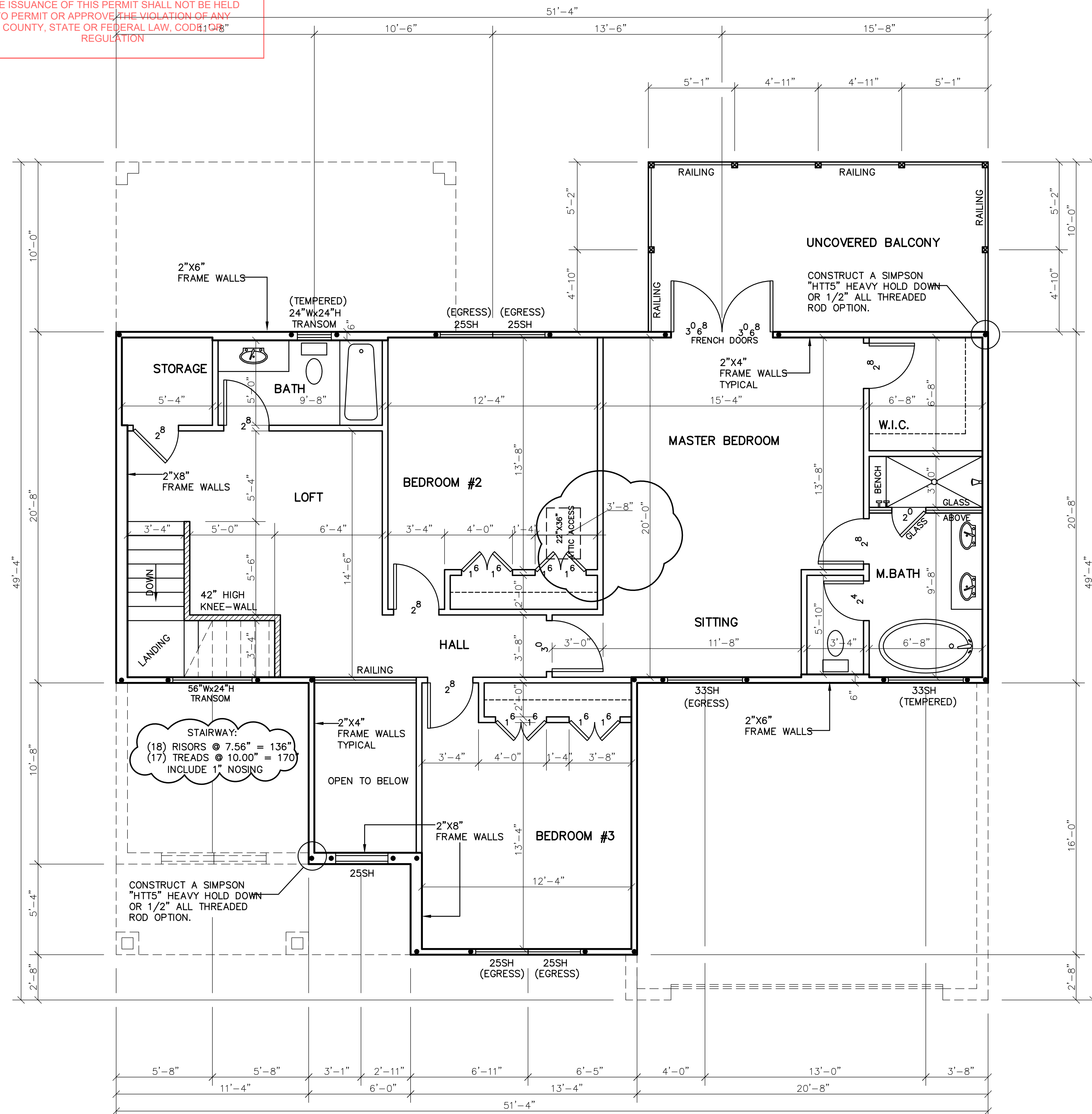
DRAWN: E.A.B.

SCALE: 1/4" = 1'-0"

CHECKED & APPROVED

19-177

SHEET 4



ELECTRICAL PLAN
2ND LEVEL

FLOOR PLAN
2ND LEVEL
PLANS RELEASED FOR CONSTRUCTION

HC-BLD-21-0008168
7/13/2021

Hillsborough County
Development Services

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MULBERRY, FLORIDA 33860

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EMAIL: 863CARTERSERVICES@GMAIL.COM

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RALPH MERVINE, P.E. #23128

DATE:

CONSTRUCTION PLAN

FLOOR & ELECTRICAL PLAN (2ND LEVEL)

MOYA RESIDENCE
10008 ALSOBROOK AVENUE, RIVERVIEW

YOUR AFFECTION & COMMITMENT TO EXCELLENCE

PHONE: (813) 752-3772
1906 W. THONDOSASSA ROAD; PLANT CITY, FLORIDA 33563

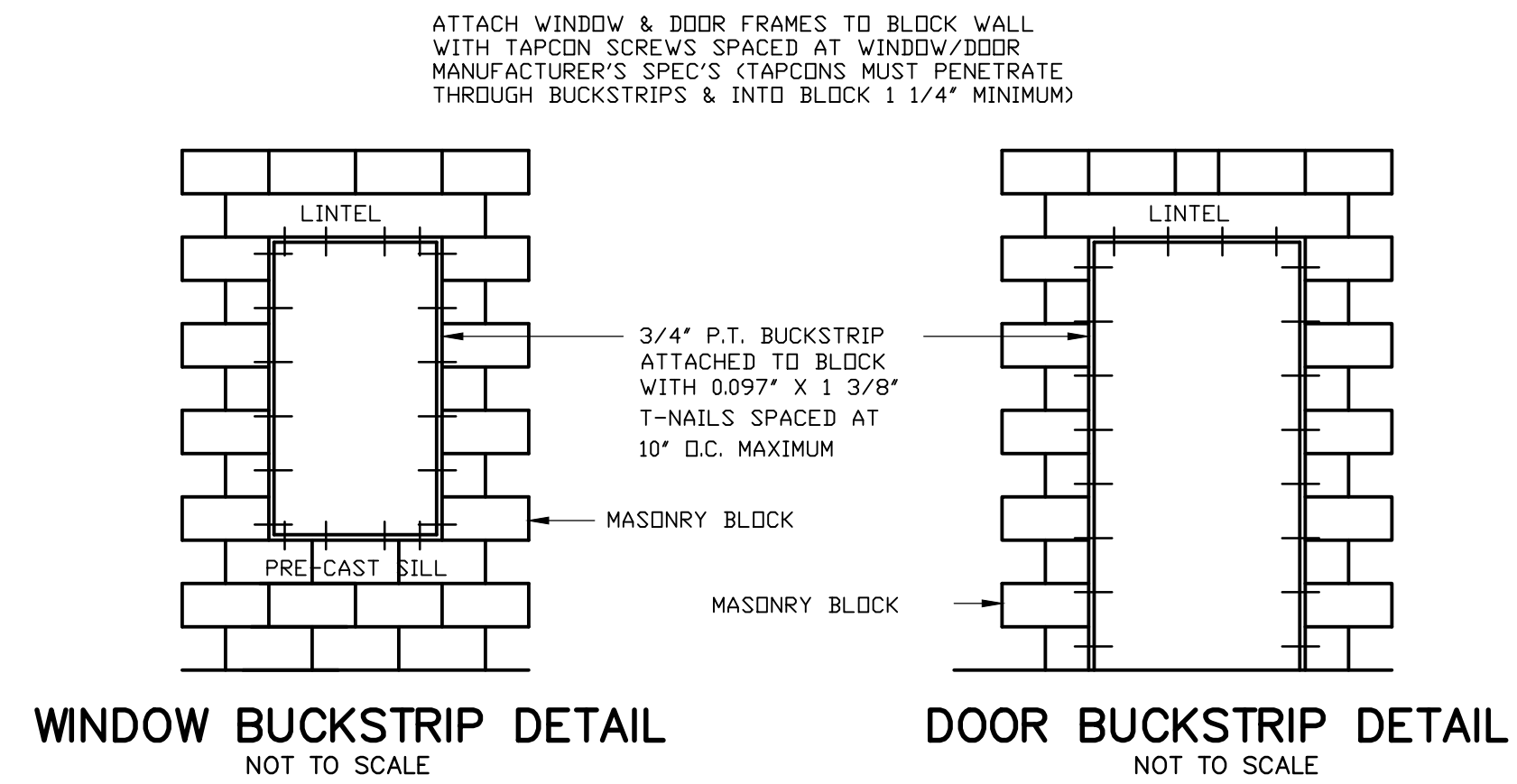
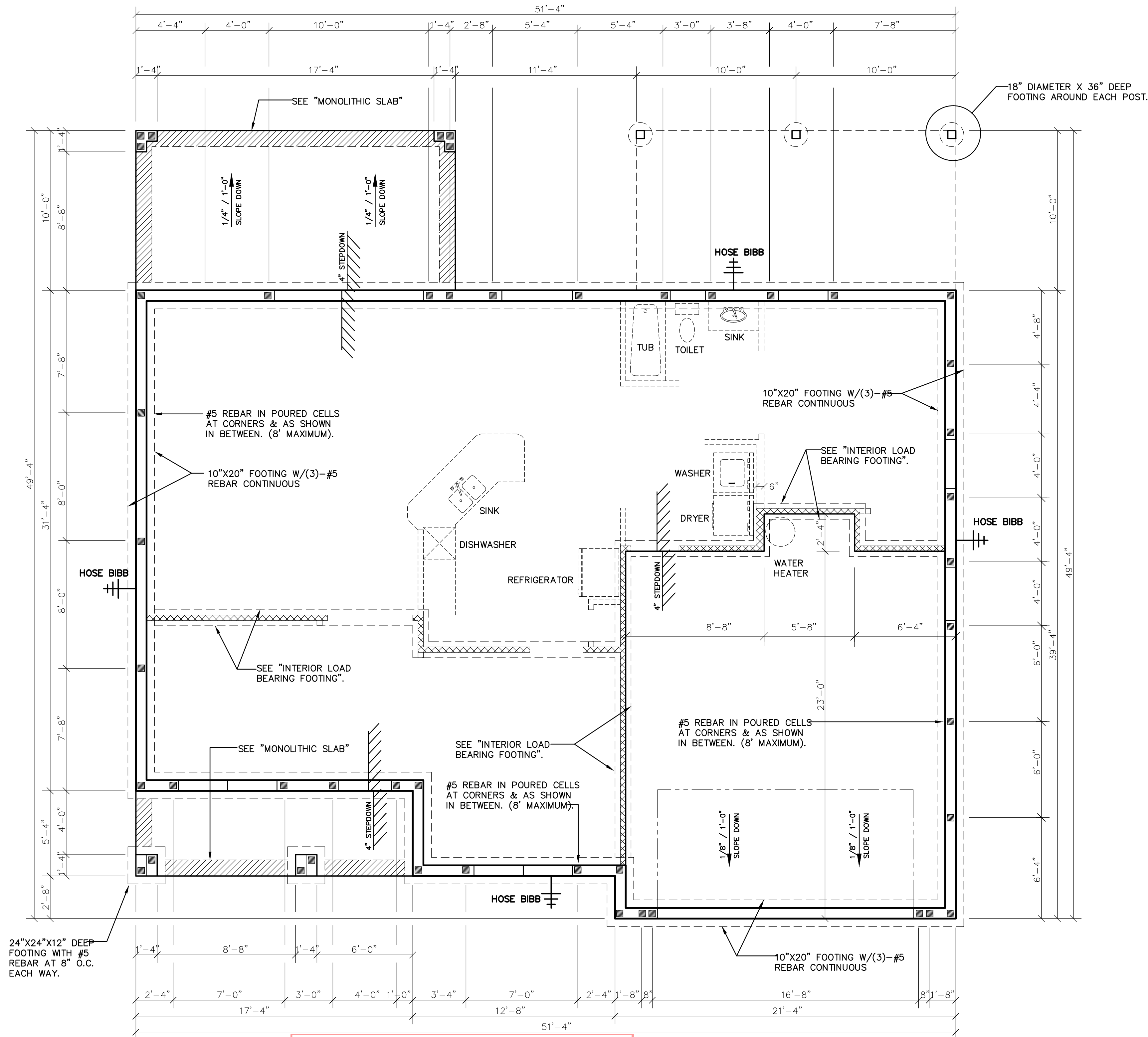
DRAWN: E.A.B.

SCALE: 1/4" = 1'-0"

CHECKED & APPROVED

19-177

SHEET 5



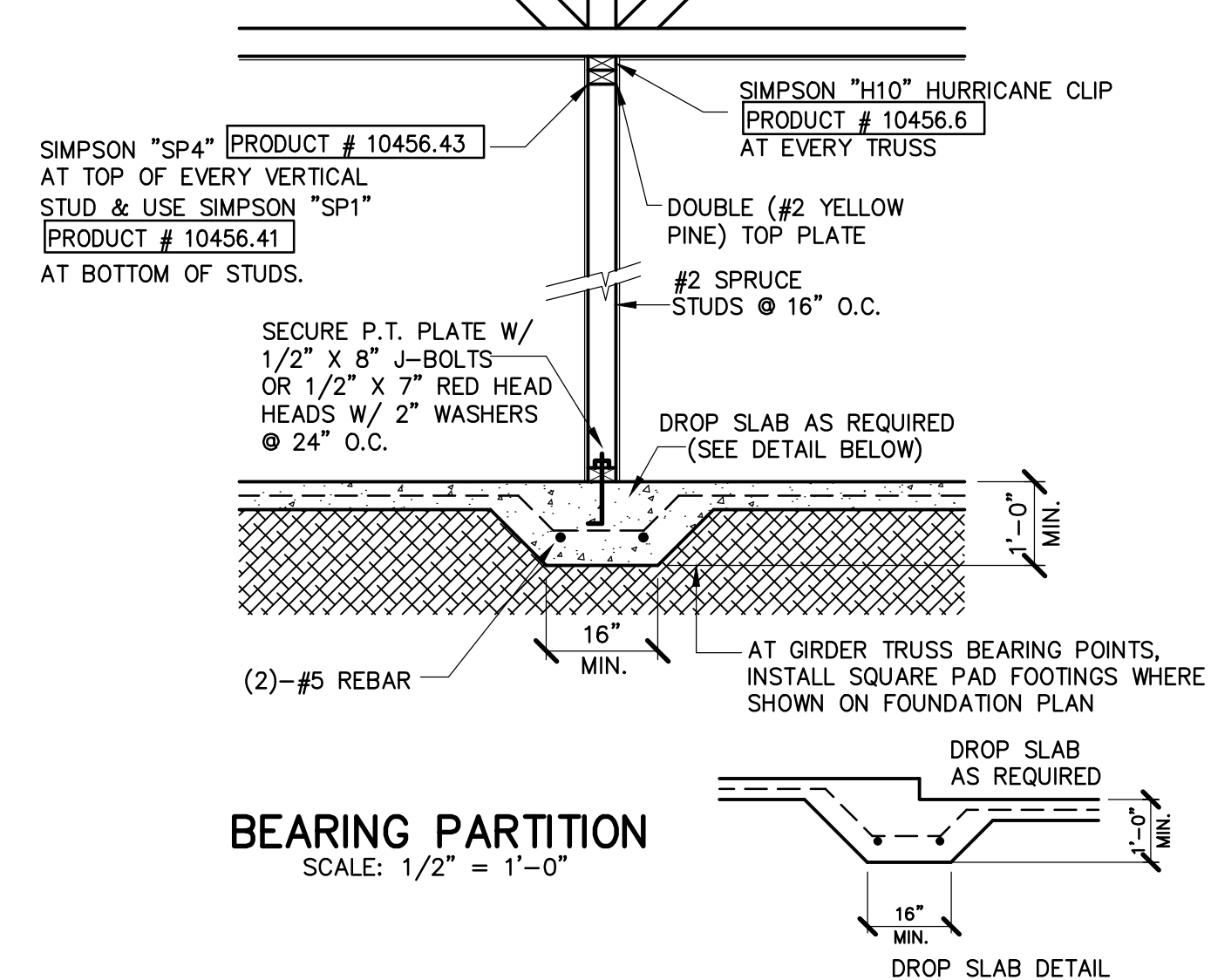
NOTE: WINDOWS & DOORS MUST BE INSTALLED SUCH THAT THE MAXIMUM GAP IN BETWEEN THE FRAME AND BUCKSTRIP IS 1/4". IF THICKER BUCKSTRIP MATERIAL IS NEEDED RIP IT FROM 1 1/2" MATERIAL & ATTACH TO BLOCK WITH 3/16" TAPCONS AT 8" O.C. (TAPCON MUST PENETRATE BLOCK 1 1/4" MINIMUM)

GIRDER TRUSS ANCHORING:

AT ROOF USE SIMPSON "HTS20" PRODUCT # 10456.23 TWIST STRAP FOR UPLIFTS OF 1,450# AND LESS; USE "HTS20" PRODUCT # 10456.23 STRAPS AT UPLIFTS FROM 1,451# UP TO 2,900# AND AT UPLIFTS FROM 2,901# UP TO 4,100# USE (2) SIMPSON "MSTA56" STRAPS

AT CONCRETE SLAB ANCHOR POST WITH SIMPSON "LTT20B" PRODUCT # 10456.23 TENSION TIE FOR UPLIFTS OF 1,750# & LESS; USE SIMPSON "HTT1" PRODUCT # 11496.1 TENSION TIE AT UPLIFTS FROM 1,751# UP TO 3,480# AND AT UPLIFTS FROM 3,481# UP TO 5,250# USE SIMPSON "HTT2" PRODUCT # 11496.1 TENSION TIE

INSTALL A SUPPORT POST UNDER GIRDER PER "POST SUPPORT TABLE" OF GENERAL NOTE SHEET



PLANS RELEASED FOR CONSTRUCTION

HC-BLD-21-0008168
7/13/2021

Hillsborough County
Development Services

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RALPH MERVINE, P.E. #23128

DATE:

CONSTRUCTION PLAN

FOUNDATION PLAN
MOYA RESIDENCE
10008 ALSBROOK AVE, RIVERVIEW

DRAWN: E.A.B.

SCALE: 1/4" = 1'-0"

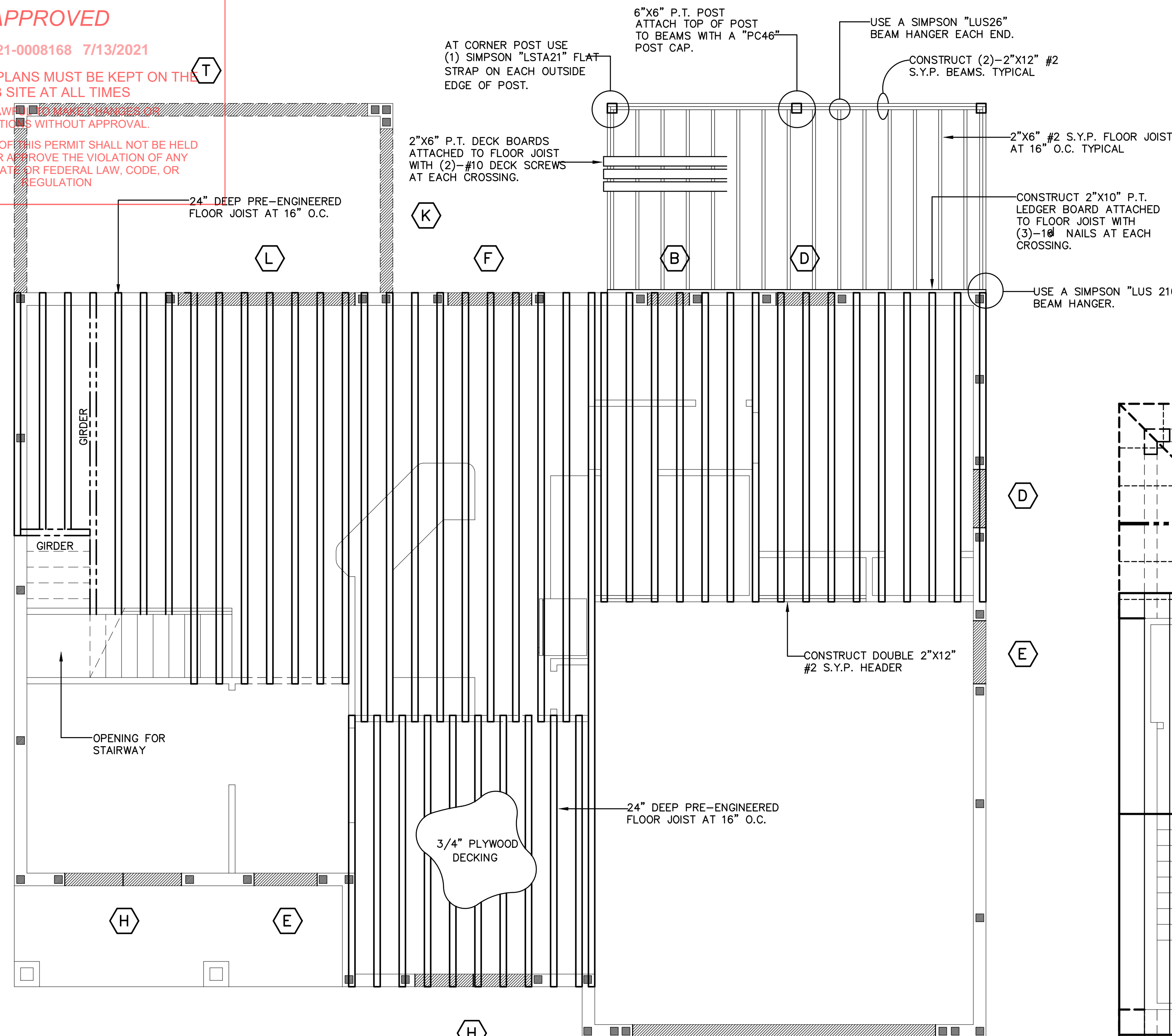
CHECKED & APPROVED

19-177

SHEET 6

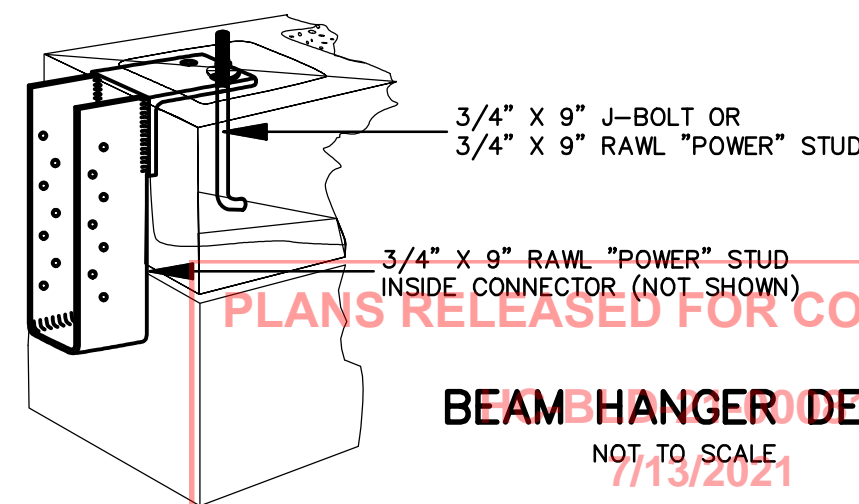
YOUR AFFECTION
&
OUR DESIGN

PHONE: (813) 752-3772
1906 W. THONOTOSASSA ROAD, PLANT CITY, FLORIDA 33563
FAX: (813) 752-5799



FLOOR JOIST LAYOUT
SUGGESTED LAYOUT ONLY

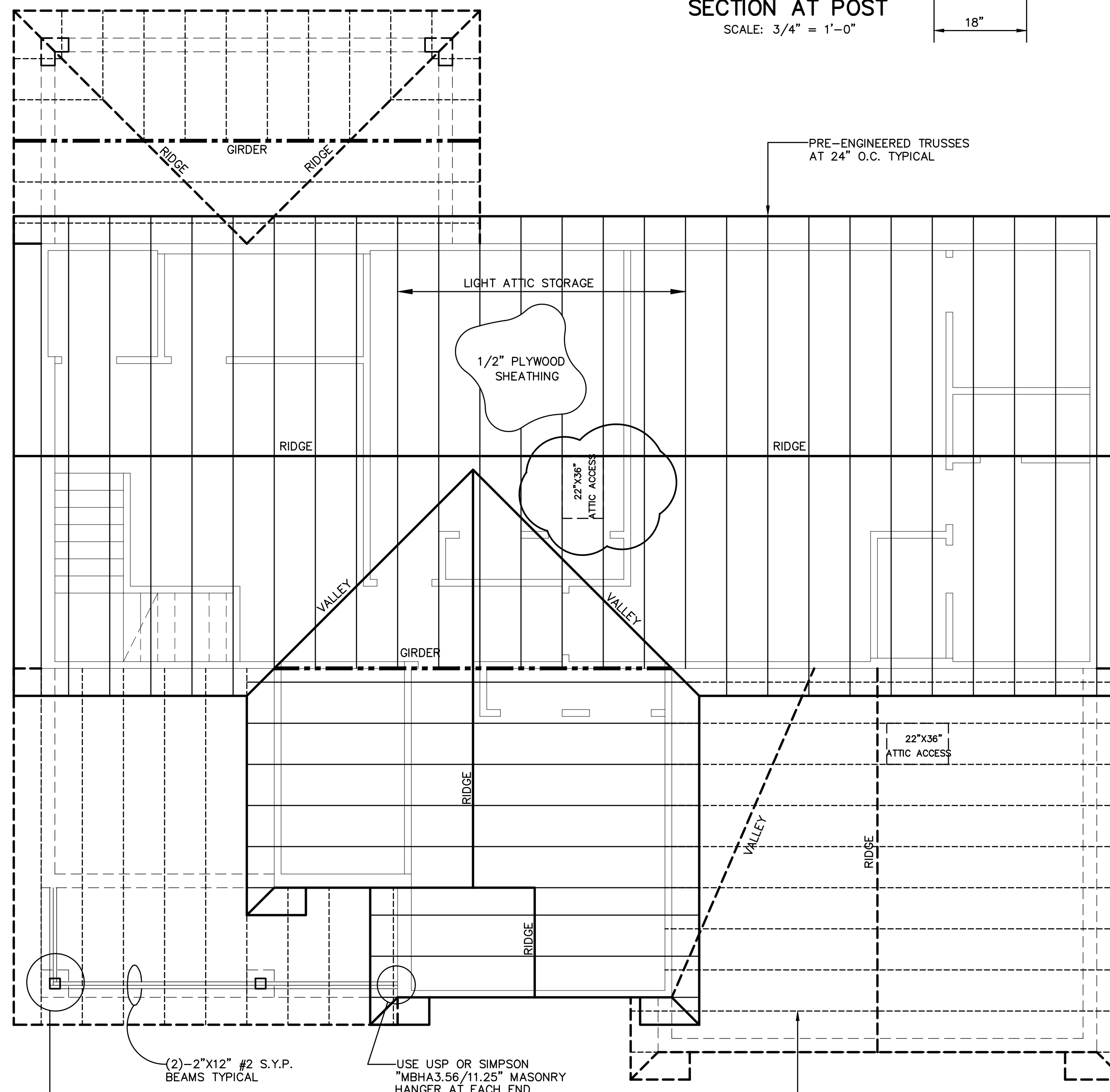
PRODUCT CODE	DIMENSIONS		DESIGN LOADS (LBS.)			PRODUCT #
	H	W	NORMAL	MAX.	UPLIFT	
SIMPSON "MBHA3.56/11.25"	11	1/4 x 5/8	5330	5330	3145	FL10866.12



BEAM HANGER DETAIL
NOT TO SCALE

Hillsborough County
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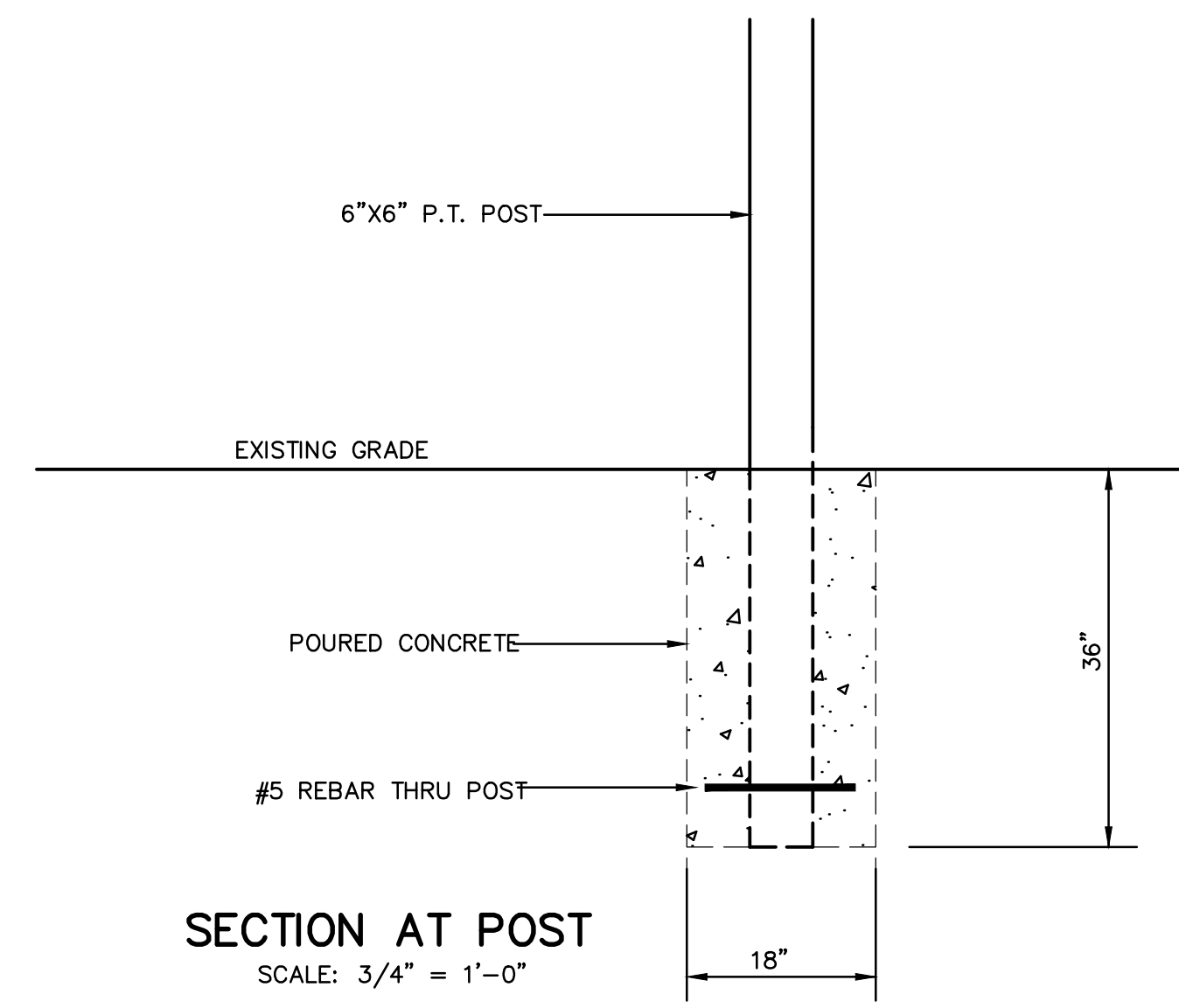


ROOF LAYOUT
SUGGESTED LAYOUT ONLY

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EMAIL: 863CARTERSERVICES@GMAIL.COM

RALPH MERVINE, P.E. #23128
DATE: _____



SECTION AT POST
SCALE: 3/4" = 1'-0"

CONSTRUCTION PLAN

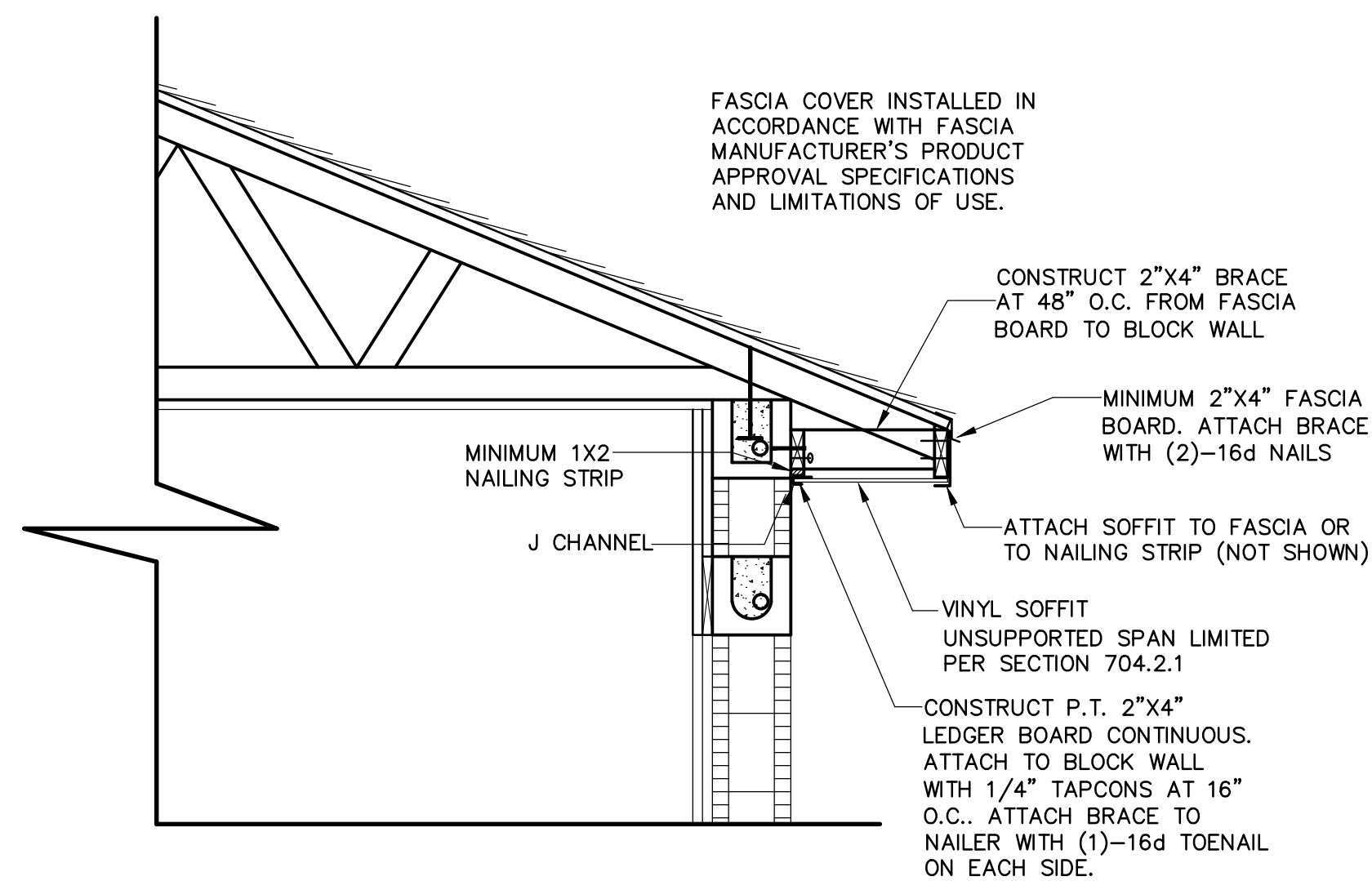
FLOOR JOIST & ROOF LAYOUT
MOYA RESIDENCE
10008 ALSOBROOK AVE, RIVERVIEW

DRAWN: E.A.B.
SCALE: 1/4" = 1'-0"
CHECKED & APPROVED

19-177

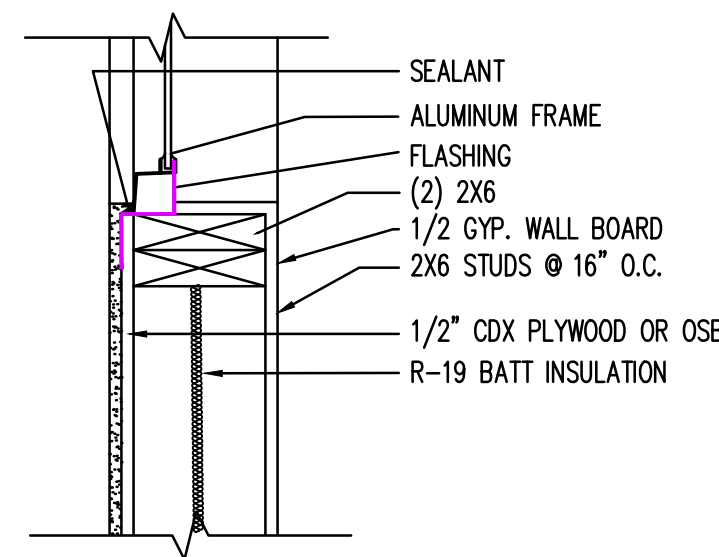
SHEET 7

Y O U R M A F E S I S N I G N
O R D & S I S N I G N
PHONE: (813) 752-3772
1906 W. THONDOSASSA ROAD, PLANT CITY, FLORIDA 33563



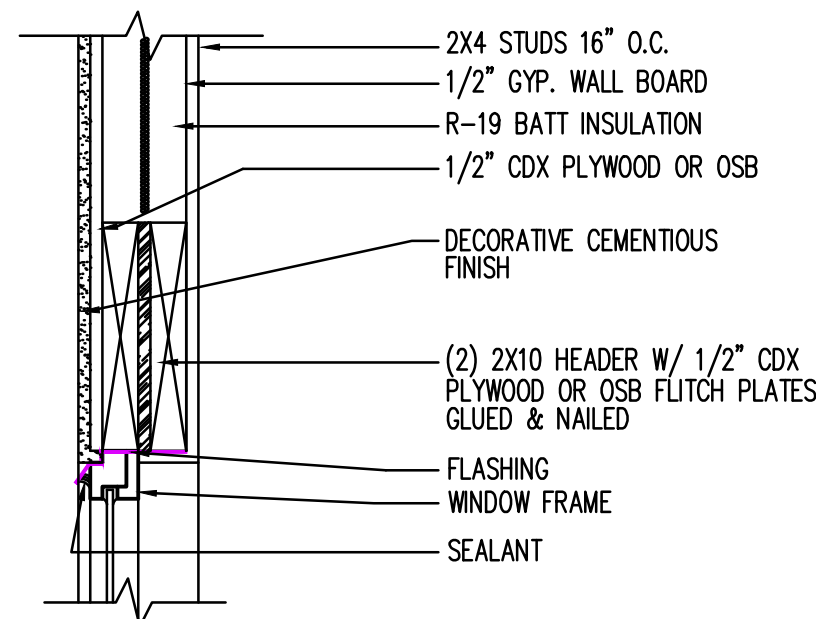
SOFFT DETAIL

SCALE: 3/4" = 1'-0"



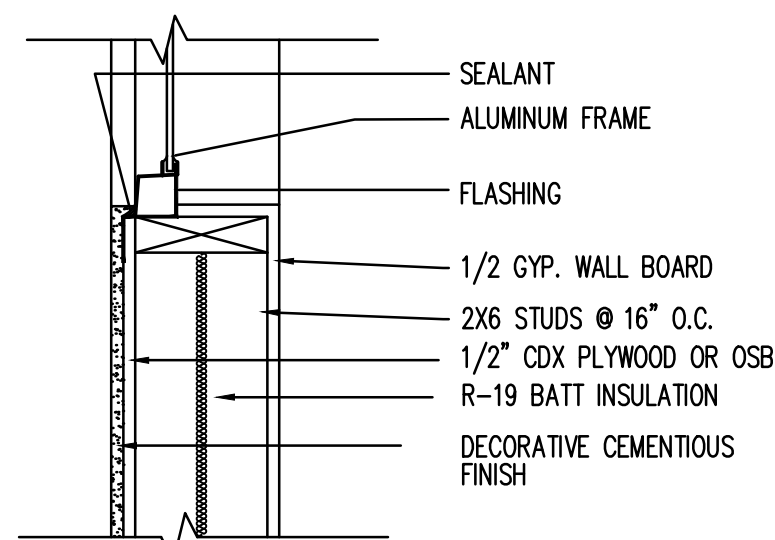
EXTERIOR WINDOW JAMB

NOT TO SCALE



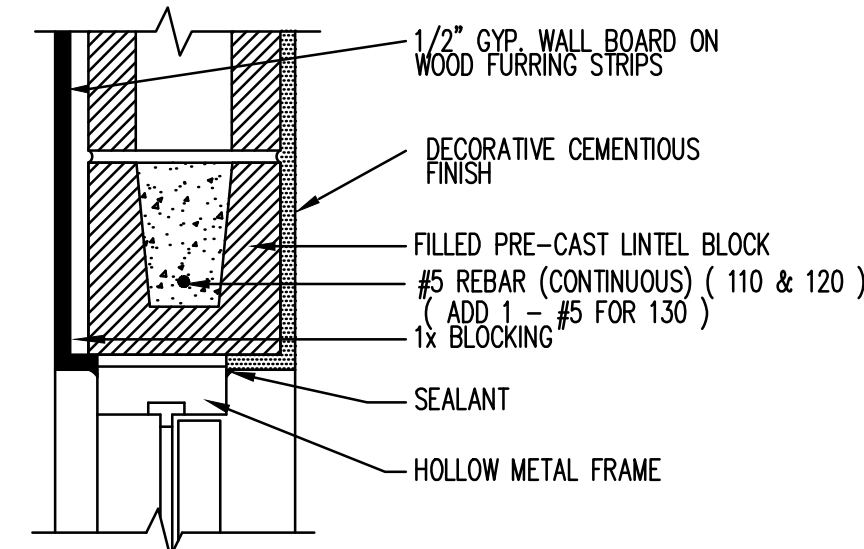
EXTERIOR WINDOW HEADER

NOT TO SCALE



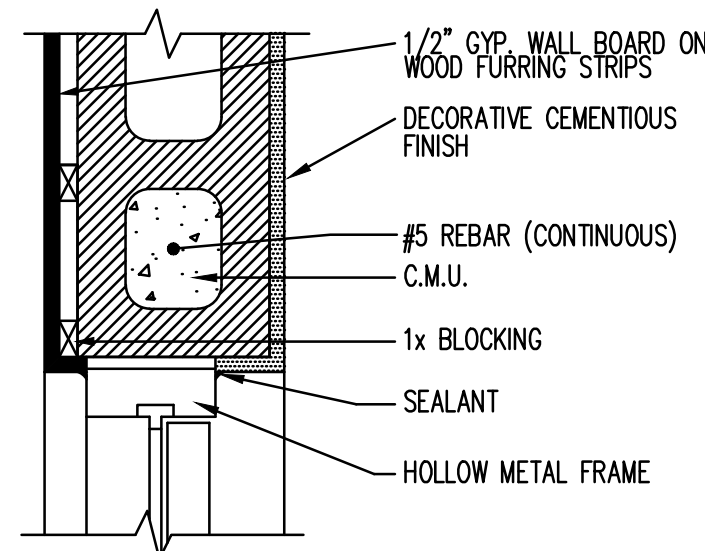
EXTERIOR WINDOW SILL

NOT TO SCALE



EXTERIOR DOOR HEAD DETAIL (BLOCK)

NOT TO SCALE



EXTERIOR DOOR JAMB DETAIL (BLOCK)

NOT TO SCALE

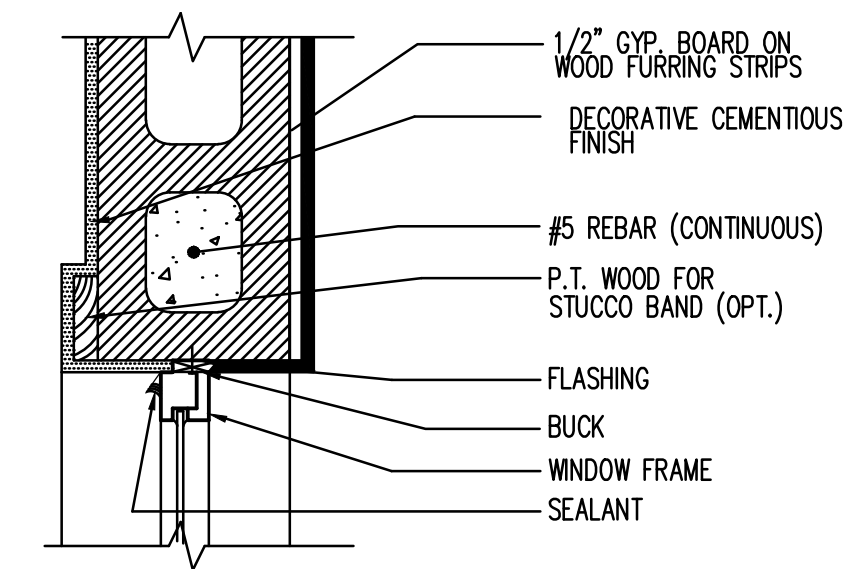
NOTES:

1709.10.4 WIND RESISTANCE OF SOFFITS. SOFFITS AND THEIR ATTACHMENTS SHALL BE CAPABLE OF RESISTING WINDLOADS SPECIFIED IN SECTION 1609 FOR WALLS USING AN EFFECTIVE WIND AREA OF 10 SQUARE FEET.

1709.10.5 WIND DRIVEN RAINRESISTANCE OF SOFFITS. ALL VENTILATED SOFFIT PANELS SHALL BE TESTED FOR WIND DRIVEN RAIN RESISTANCE IN ACCORDANCE WITH TAS 100 (A)

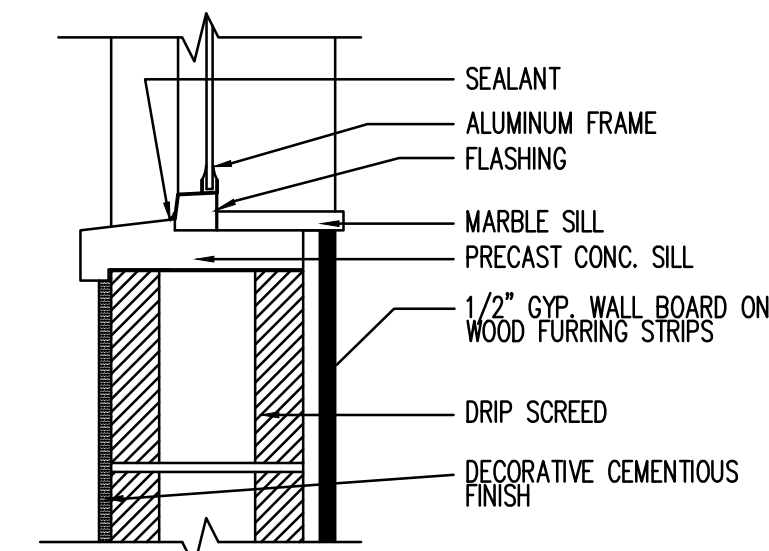
1709.10.6 SOFFIT INSTALLATION. SOFFIT INSTALLATION SHALL COMPLY WITH SECTION 1709.10.6.1, 1709.10.6.2, 1709.10.6.3, 1709.10.6.4.

1709.10.6.1 VINYL SOFFIT PANELS. VINYL SOFFIT PANELS SHALL BE INSTALLED USING FASTENERS SPECIFIED BY THE MANUFACTURER AND SHALL BE FASTENED AT BOTH ENDS TO A SUPPORTING COMPONENT SUCH AS A NAILING STRIP, FASCIA OR SUB-COMPONENT IN ACCORDANCE WITH FIGURE 1709.10.6.1(1). WHERE THE UNSUPPORTED SPAN OF SOFFIT PANELS IS GREATER THAN 12 INCHES, INTER-MEDIATENAILING STRIPS SHALL BE PROVIDED IN ACCORDANCE WITH FIGURE 1709.10.6.1(2) UNLESS A LARGER SPAN IS PERMITTED IN ACCORDANCE WITH THE MANUFACTURER'S PRODUCT APPROVAL SPECIFICATION. VINYL SOFFIT PANELS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S PRODUCT APPROVAL SPECIFICATION AND LIMITATIONS OF USE. FASCIA COVERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S PRODUCT APPROVAL SPECIFICATION AND LIMITATIONS OF USE.



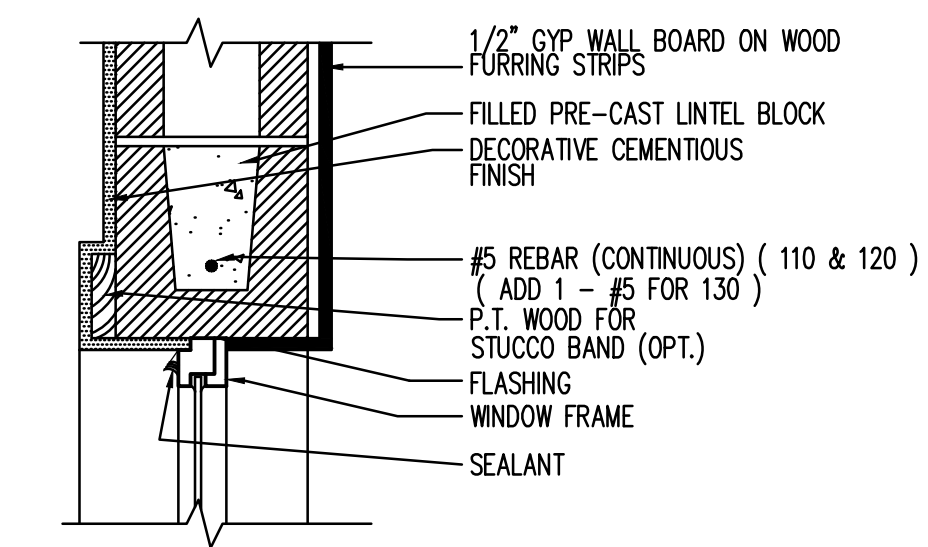
EXTERIOR WINDOW JAMB (BLOCK)

NOT TO SCALE



EXTERIOR WINDOW SILL (BLOCK)

NOT TO SCALE



EXTERIOR WINDOW HEADER (BLOCK)

NOT TO SCALE

PLANS RELEASED FOR CONSTRUCTION

HC-BLD-21-0008168

7/13/2021

Hillsborough County
Development Services

Project reviewed for general compliance with standards applicable to this project. Design has not necessarily been reviewed or checked regarding specific design elements or calculations. The engineer of record is fully responsible for the final decision, signed and sealed plans and documents.

RALPH MERVINE
4192 STONEHEDGE ROAD
MULBERRY, FLORIDA 33860
PHONE: (813) 508-1700
EMAIL: 863CARTERSERVICES@GMAIL.COM

I HEREBY CERTIFY:

THAT THE CONSTRUCTION PLANS SHOWN HEREON ARE IN COMPLIANCE WITH CHAPTER 16, SECTION 1609 OF THE 2020 FLORIDA BUILDING CODE FOR 150 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH THE ENTIRE 2020 FLORIDA BUILDING CODE - (7TH EDITION) RESIDENTIAL.

RALPH MERVINE, P.E. #23128

DATE: _____

DRAWN: E.A.B.

SCALE: 1/4" = 1'-0"

CHECKED & APPROVED

19-177

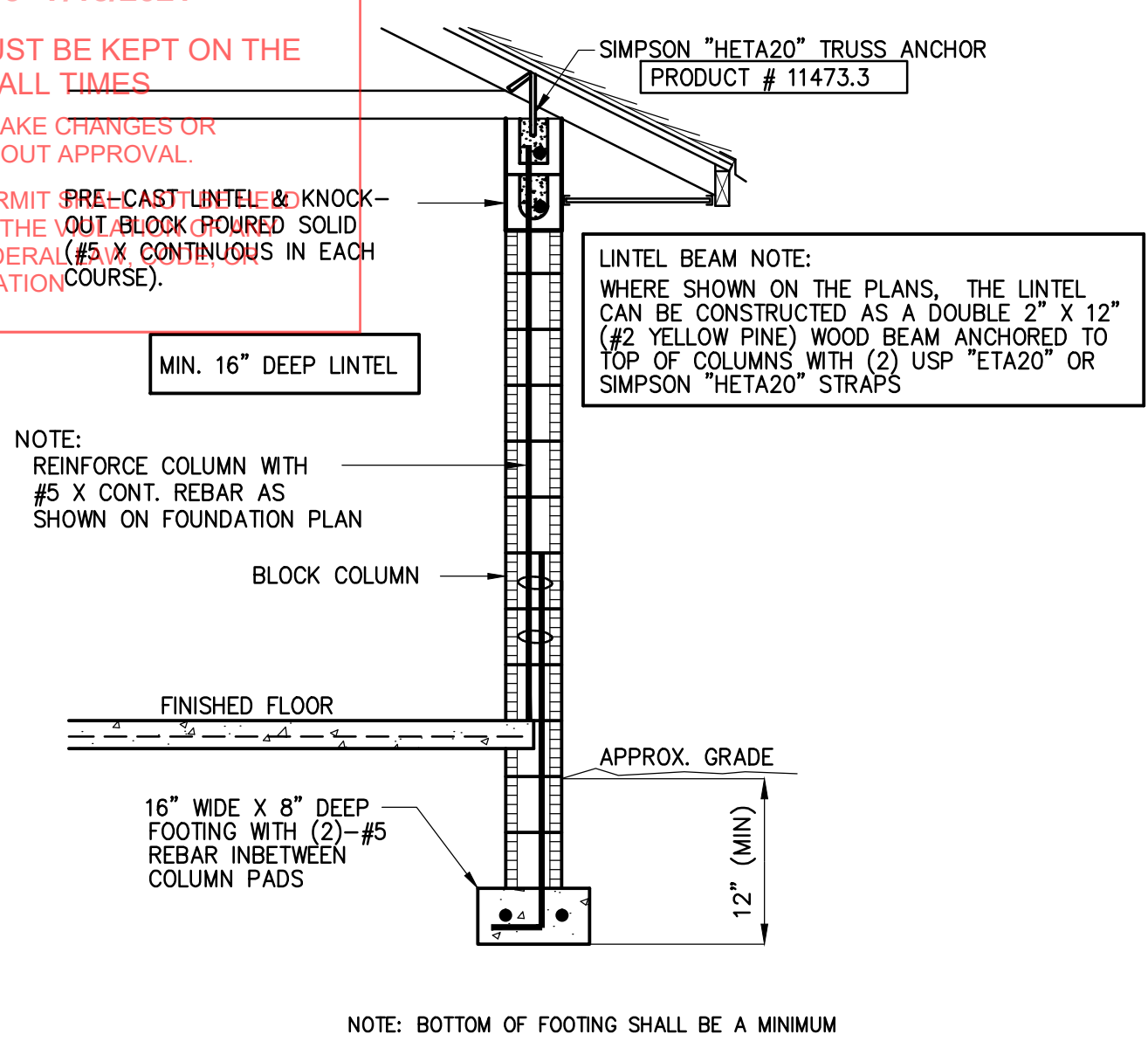
SHEET 8

Y O U R M A F E S T R U C T I O N S I N G N
PHONE: (813) 752-3772
1906 W. THONOTOSASSA ROAD, PLANT CITY, FLORIDA 33563

CONSTRUCTION PLAN

DETAIL SHEET
MOYA RESIDENCE
10008 ALSOBROOK AVE, RIVERVIEW

HILLSBOROUGH COUNTY
 PLANS REVIEWED FOR CODE COMPLIANCE
APPROVED
 HC-BLD-21-0008168 7/13/2021
 THIS SET OF PLANS MUST BE KEPT ON THE
 JOB SITE AT ALL TIMES
 IT IS UNLAWFUL TO MAKE CHANGES OR
 ALTERATIONS WITHOUT APPROVAL
 THE ISSUANCE OF THIS PERMIT PRE-CAST LINTEL & KNOCK-
 TO PERMIT OR APPROVE THE "OUT-BLOCK" (POURED SOLID
 COUNTY, STATE OR FEDERAL (#5) X CONTINUOUS IN EACH
 REGULATION COURSE).



BLOCK COLUMN DETAIL
 SCALE: 1/2" = 1'-0"

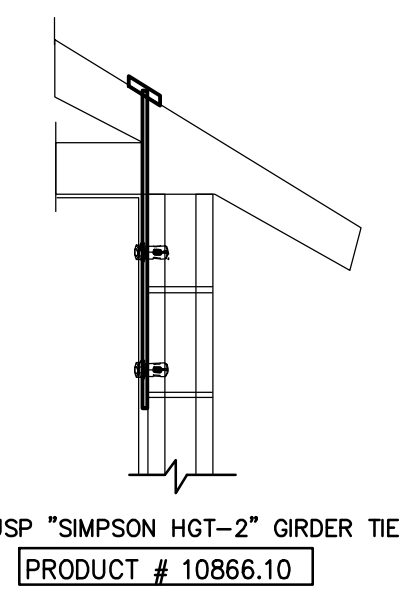
150 MPH (3 SEC. GUST) WINDOWS (ENCLOSED BUILDING)			
WINDOW CALL-OUT	SQUARE FOOT	WIND PRESSURE END ZONE POSITIVE	WIND PRESSURE END ZONE NEGATIVE
2024	4	+40.5	-54.2
2030	6	+40.5	-54.2
2038	7	+40.5	-54.2
2044	8	+40.5	-54.2
2050	10	+40.5	-54.2
2060	12	+40.1	-53.5
2424	5	+40.5	-54.2
2430	7	+40.5	-54.2
2438	8	+40.5	-54.2
2444	10	+40.5	-54.2
2450	11	+40.3	-53.8
2460	14	+39.8	-52.7
2824	6	+40.5	-54.2
2830	8	+40.5	-54.2
2838	9	+40.5	-54.2
2844	11	+40.3	-53.8
2850	13	+40.0	-53.1
2860	16	+39.4	-52.0
3024	7	+40.5	-54.2
3030	9	+40.5	-54.2
3038	11	+40.3	-53.8
3044	13	+40.0	-53.1
3050	15	+39.8	-52.4
3060	18	+39.1	-51.2
3424	7	+40.5	-54.2
3430	10	+40.5	-54.2
3438	12	+40.1	-53.5
3444	14	+39.8	-52.7
3450	16	+39.4	-52.0
3460	20	+38.7	-50.5
3824	8	+40.5	-54.2
3830	11	+40.3	-53.8
3838	13	+40.0	-53.1
3844	15	+39.6	-52.4
3850	18	+39.1	-51.2
3860	22	+38.5	-50.2
4024	9	+40.5	-54.2
4030	12	+40.1	-53.5
4038	14	+39.8	-52.7
4044	17	+38.7	-50.5
4050	20	+38.7	-50.5
4060	24	+38.4	-49.9

150 MPH (3 SEC. GUST) WINDOWS (ENCLOSED BUILDING)			
WINDOW CALL-OUT	SQUARE FOOT	WIND PRESSURE END ZONE POSITIVE	WIND PRESSURE END ZONE NEGATIVE
12	3	+40.5	-54.2
13	5	+40.5	-54.2
14	7	+40.5	-54.2
15	8	+40.5	-54.2
16	10	+40.5	-54.2
1/2 32	5	+40.5	-54.2
1/2 33	7	+40.5	-54.2
1/2 34	9	+40.5	-54.2
1/2 35	12	+40.1	-53.5
1/2 36	14	+39.8	-52.7
30X26	5	+40.5	-54.2
30X38	8	+40.5	-54.2
30X50	10	+40.5	-54.2
30X63	13	+40.0	-53.1
30X72	15	+39.6	-52.4
22	6	+40.5	-54.2
23	10	+40.5	-54.2
24	13	+40.0	-53.1
25	16	+39.4	-52.0
26	19	+38.9	-50.9
48X26	8	+40.5	-54.2
48X38	12	+40.1	-53.5
48X50	16	+39.4	-52.0
48X63	21	+38.5	-50.3
48X72	24	+38.4	-49.9
32	9	+40.5	-54.2
33	14	+39.8	-52.7
34	18	+39.1	-51.2
35	23	+38.5	-50.0
36	28	+38.0	-49.2

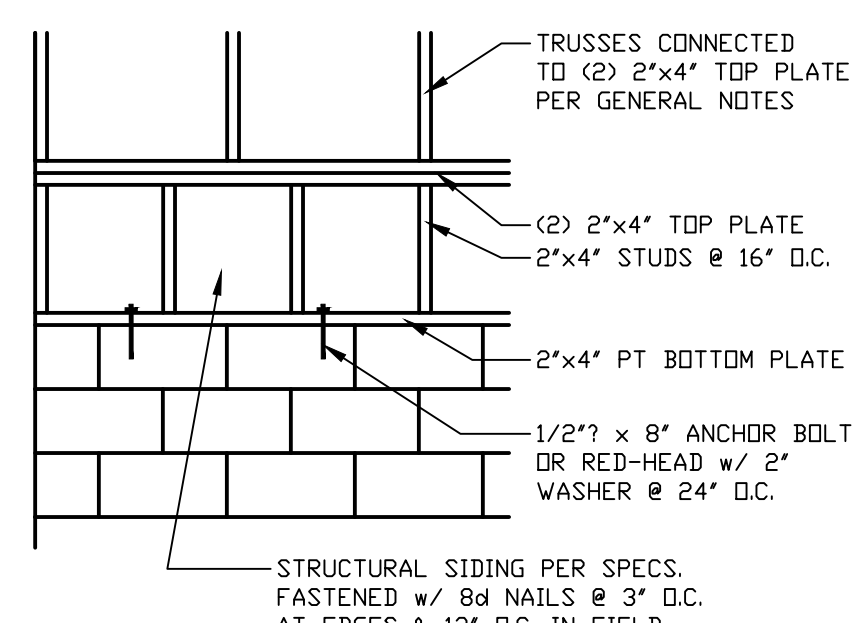
150 MPH (3 SEC. GUST) OPENINGS (ENCLOSED BUILDING)			
WINDOW OR DOOR OPENING SQ. FT.	WIND PRESSURE END ZONE POSITIVE	WIND PRESSURE END ZONE NEGATIVE	
10	+40.5	-54.2	
20	+38.7	-50.5	
30	+37.9	-48.9	
40	+37.0	-47.3	
50	+36.2	-45.7	
60	+35.8	-45.0	
70	+35.5	-44.3	
80	+35.1	-43.5	
90	+34.8	-42.8	
100+	+34.4	-42.1	

*IMPORTANT NOTE: IF NOT OTHERWISE NOTED, ALL WINDOWS FOR THE 150 MPH WIND SPEED MUST BE RATED FOR +40.5/-54.2 P.S.F. PRESSURES.

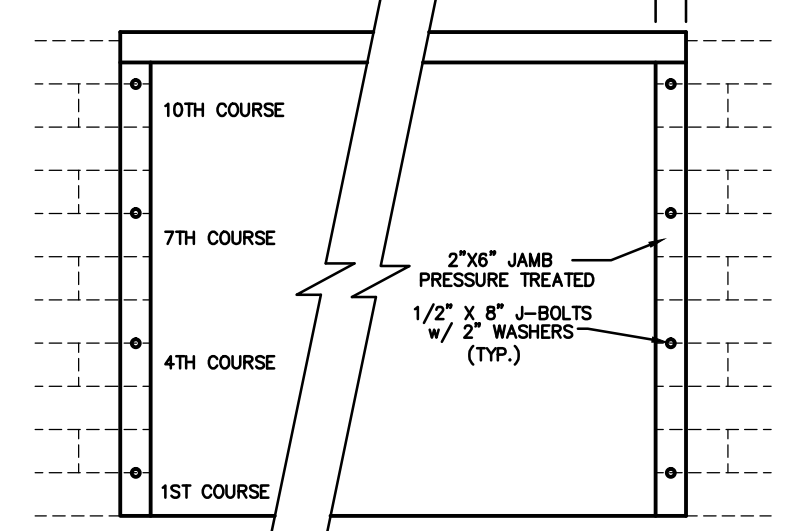
- USE SIMPSON "MGT" HEAVY GIRDER TIEDOWN FOR UPLIFTS UP TO 3,965# PRODUCT # 11470.7
- USE SIMPSON "HGT-3" HEAVY GIRDER TIEDOWN FOR UPLIFTS UP TO 10,530# PRODUCT # 11456.19
- USE SIMPSON "HGT-4" HEAVY GIRDER TIEDOWN FOR UPLIFTS UP TO 9,250# PRODUCT # 10866.10
- USE (1) SIMPSON "FGTR" FACE MOUNT GIRDER TIEDOWN FOR UPLIFTS UP TO 5,000 LBS. WITH (2) 1/2" X 5" TITEN HD FASTENERS OR EQUIV. PRODUCT # 11473.2
- USE (2) SIMPSON "FGTR" FACE MOUNT GIRDER TIEDOWNS FOR UPLIFTS UP TO 9,400 LBS. WITH (4) 1/2" X 5" TITEN HD FASTENERS OR EQUIV. PRODUCT # 11473.2
- USE "SIMPSON HGT-2" GIRDER TIE CONNECTOR FOR UPLIFTS UP TO 6,170 LBS. WITH (2) 3/4" X 5" EXPANSION BOLTS. PRODUCT # 10866.10
- USE "SIMPSON HGT-2" GIRDER TIE CONNECTOR FOR UPLIFTS FROM 6,171 TO 11,150 LBS. WITH (4) 3/4" X 5" EXPANSION BOLTS. PRODUCT # 10866.10



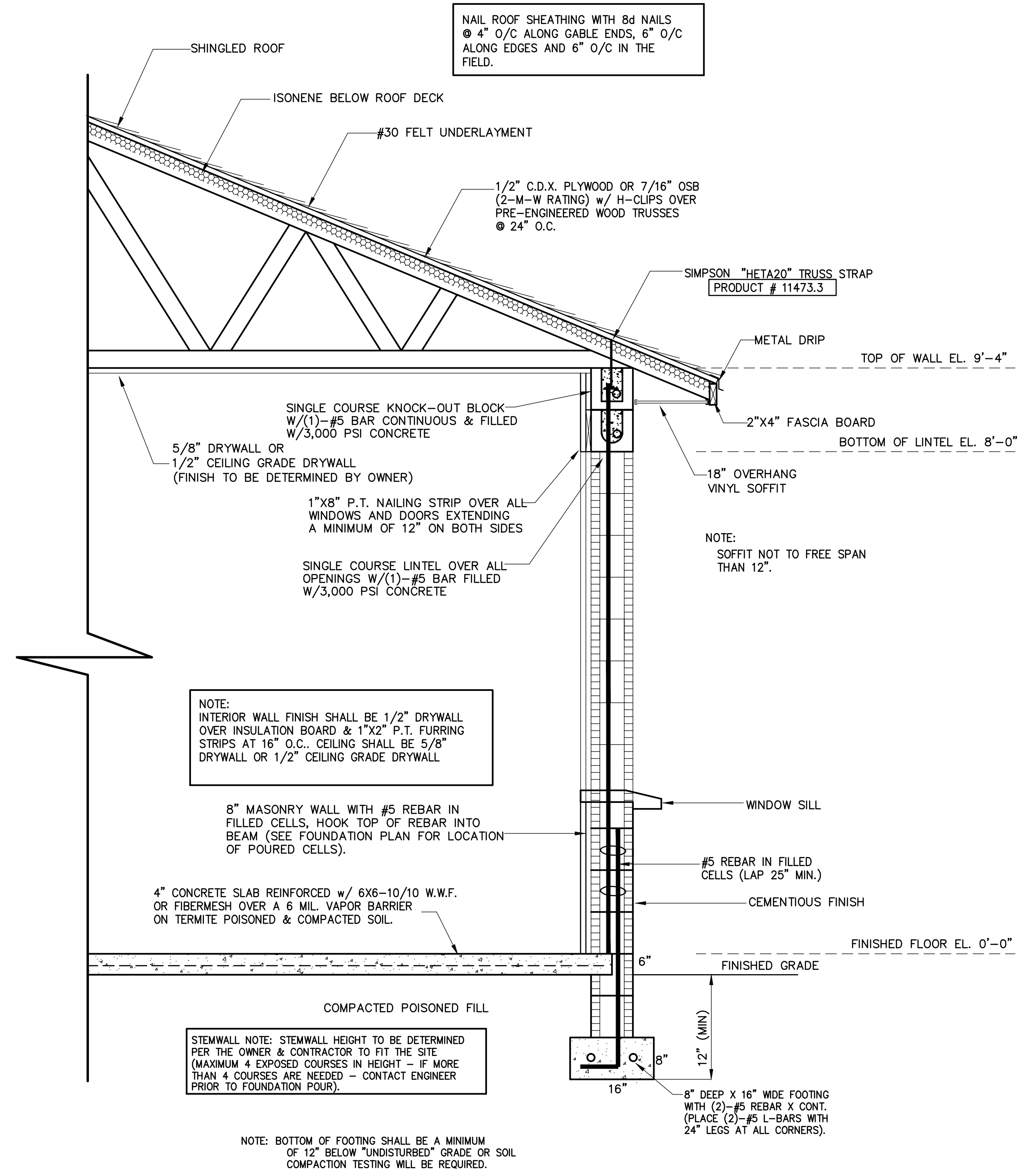
GIRDER TRUSS TO BLOCK DETAIL
 NOT TO SCALE



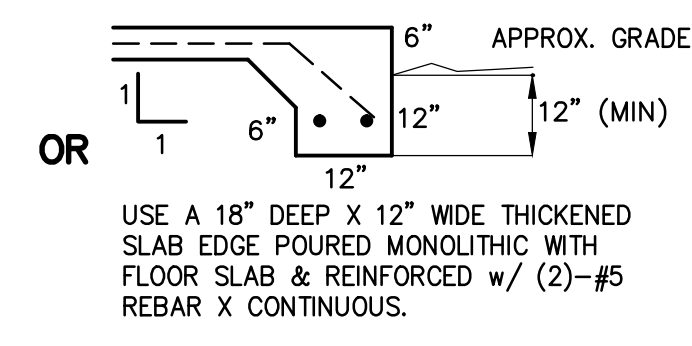
KNEEWALL DETAIL
 NOT TO SCALE



GARAGE DOOR JAMB
 NOT TO SCALE

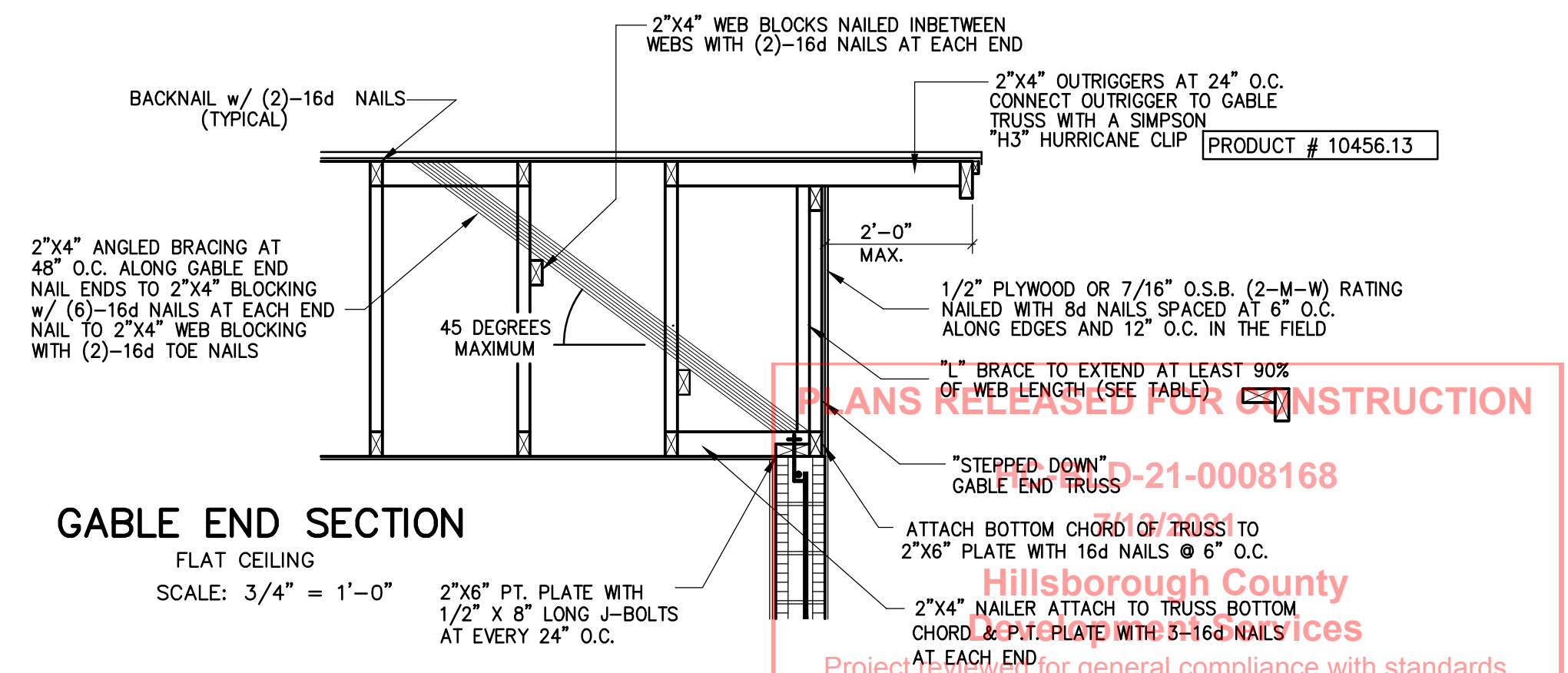


TYPICAL WALL SECTION
 SCALE: 3/4" = 1'-0"

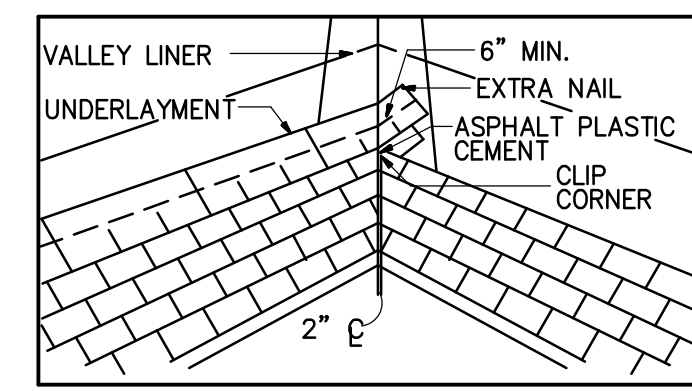
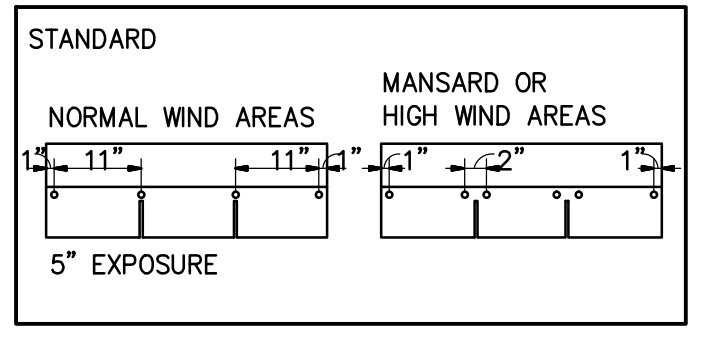
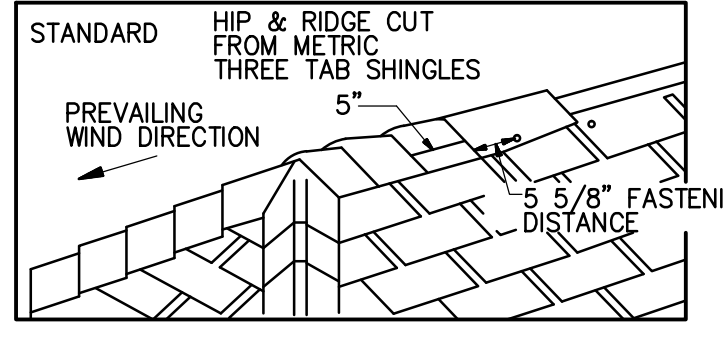


"L" BRACING REQUIREMENTS

STUD SPACING	NO L-BRACING	(1) 2"x4" L-BRACING	(2) 2"x4" L-BRACING	(2) 2"x6" L-BRACING
16"	0'-0" TO 4'-5"	4'-5" TO 8'-0"	8'-0" TO 12'-0"	12'-0" TO 16'-0"
24"	0'-0" TO 4'-0"	4'-0" TO 7'-0"	7'-0" TO 10'-0"	10'-0" TO 14'-0"



GABLE END SECTION
 FLAT CEILING
 SCALE: 3/4" = 1'-0"



SHINGLE NAILING NOTES:
 ALL NAILS MUST PENETRATE AT LEAST 3/4" INTO THE WOOD ROOF DECK.
 NAIL SHINGLES WITH 11 OR 12 GAUGE GALVANIZED NAILS WITH 3/8" DIAMETER HEADS - 6 REQUIRED (AS SHOWN IN "HIGH WIND AREAS")
ROOF-TO-WALL FLASHING NOTES:
 4" X 5" ANGLE FLASHING - 26 GAUGE GALVANIZED METAL RUBBER VALLEY FLASHING OR 12" WIDE - 26 GAUGE GALVANIZED METAL WITH SHINGLES OVER THE TOP.

MATERIAL SPECIFICATIONS:
 UNDERLAYMENT SHALL COMPLY WITH FBC R905.1.1 FBC EDITION (2020)
 ASTM 226 TYPE II, ASTM D 4869 TYPE IV, ASTM D 6757 (30# FELT)
 FLASHING FOR ASPHALT SHINGLES SHALL COMPLY WITH FBC R905.2.8
 ASPHALT SHINGLES SHALL COMPLY TO ASTM D7158-CLASS G OR H, OR ASTM D3161-CLASS F, IN ACCORDANCE WITH TABLE R905.2.6.1, FBC 7TH EDITION (2020)

ROOF SHINGLE & FLASHING INSTALLATION SPEC'S
 NOT TO SCALE

PLANS RELEASED FOR CONSTRUCTION
 Hillsborough County
 Project # 21-0008168
 Project # 21-0008168 for general compliance with standards applicable to this project. Design has not necessarily been reviewed or checked regarding specific design elements or calculations. The engineer of record is fully responsible for the final decision, signed and sealed plans and documents.

RALPH MERVINE
 4192 STONEHENG ROAD
 MULBERRY, FLORIDA 33860
 PHONE: (813) 508-1700
 EMAIL: 863CARTERSERVICES@GMAIL.COM

PROJECT:
MOYA RESIDENCE

Wood Frame Details
 (One Story Buildings)

DATE: 03-15-12
 SCALE: AS NOTED
 JOB # FBC2014-150-II

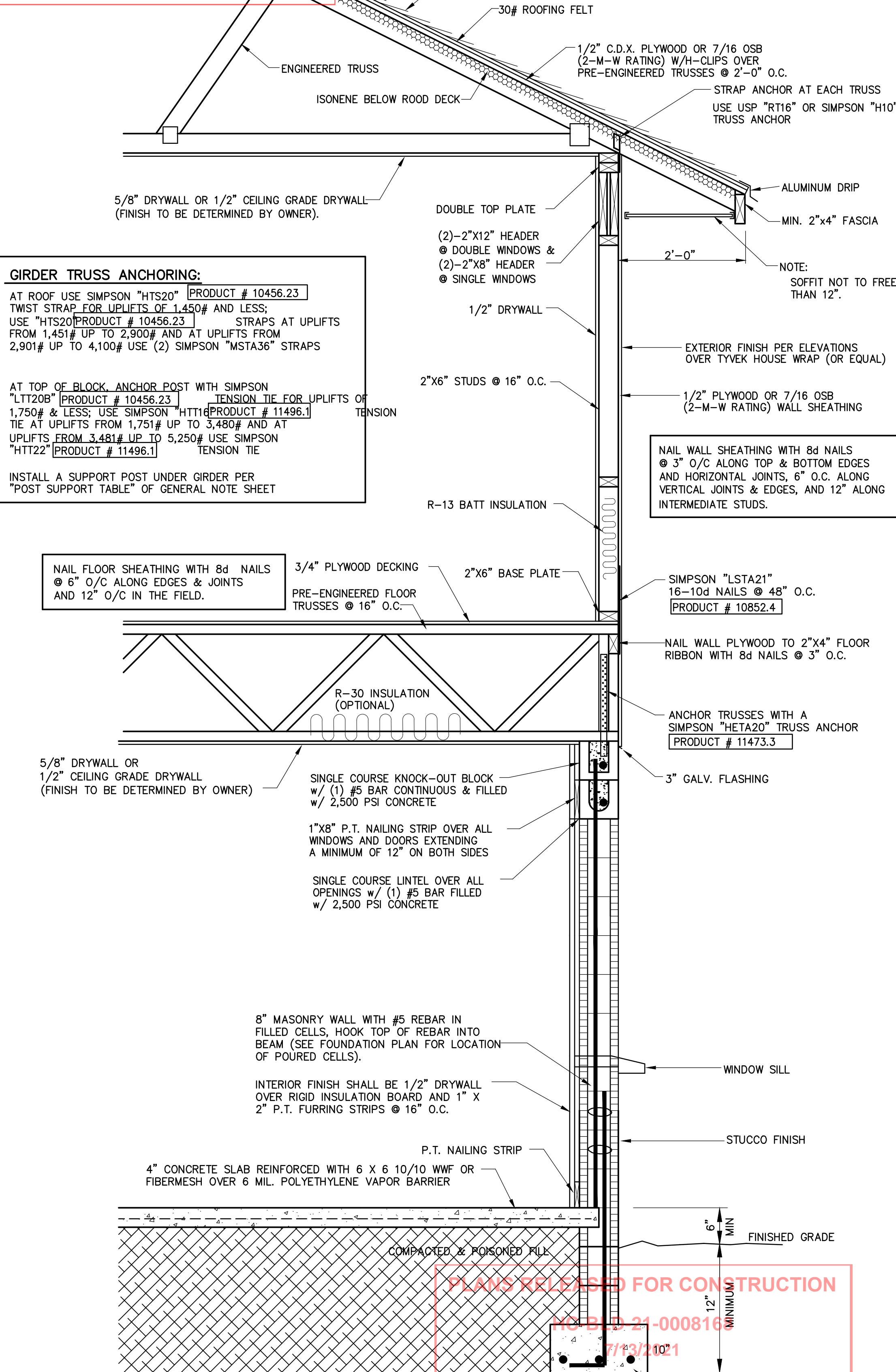
SHEET
CB1

I HEREBY CERTIFY:
 THAT THE CONSTRUCTION PLANS SHOWN HEREON ARE IN COMPLIANCE WITH CHAPTER 16, SECTION 1609 OF THE 2020 FLORIDA BUILDING CODE FOR 150 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH THE ENTIRE 2020 FLORIDA BUILDING CODE - (7TH EDITION) RESIDENTIAL.

RALPH MERVINE, P.E. #23128

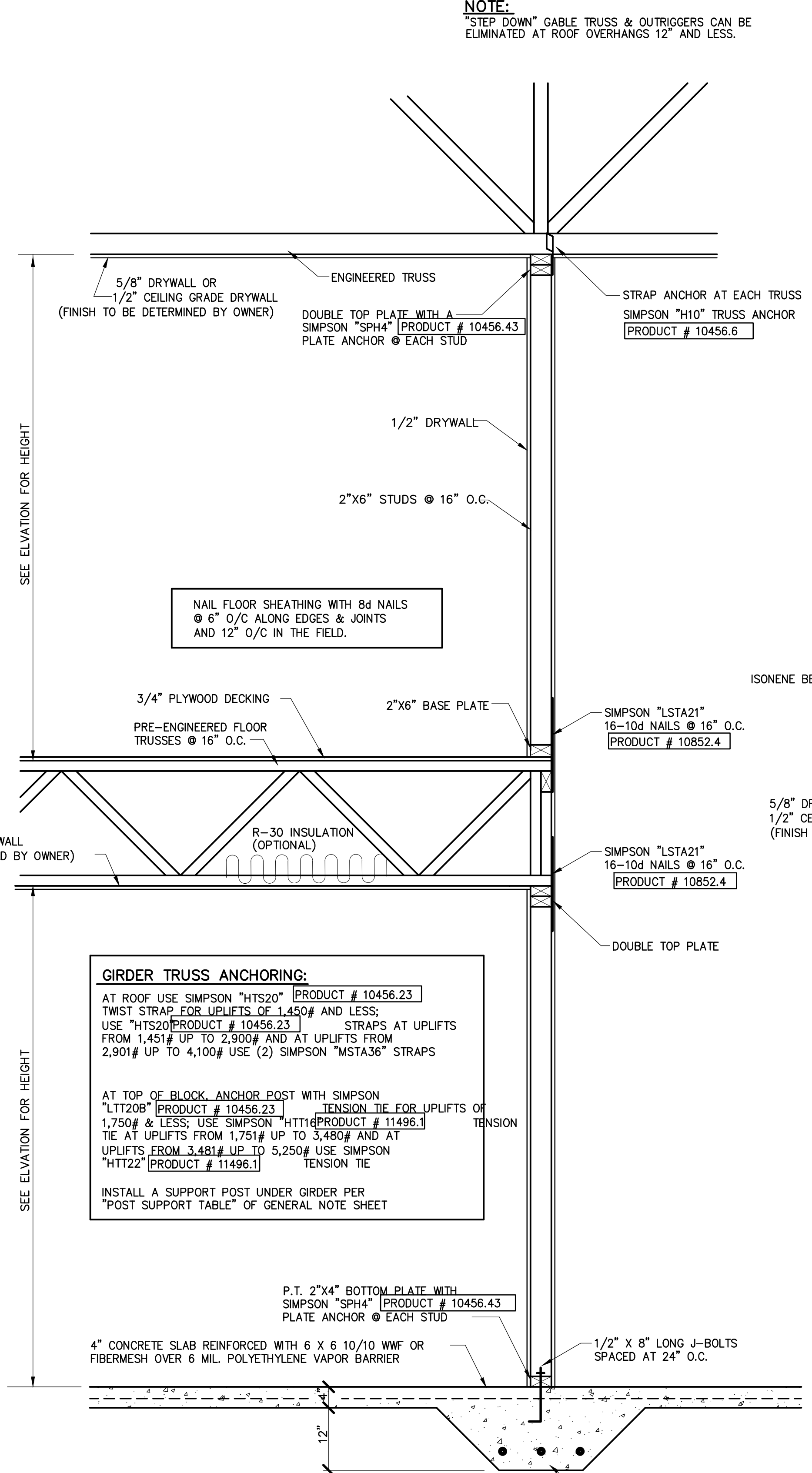
DATE:

HILLSBOROUGH COUNTY
 PLANS REVIEWED FOR CODE COMPLIANCE
APPROVED
 HC-BLD-21-0008168 7/13/21
 THIS SET OF PLANS MUST BE KEPT ON THE JOB SITE AT ALL TIMES
 IT IS UNLAWFUL TO MAKE CHANGES OR ALTERATIONS WITHOUT PERMISSAL
 THE ISSUANCE OF THIS PERMIT SHALL BE HELD TO PERMIT OR APPROVE THE VIOLATION OF COUNTY, STATE OR FEDERAL LAW, CODES OR REGULATION

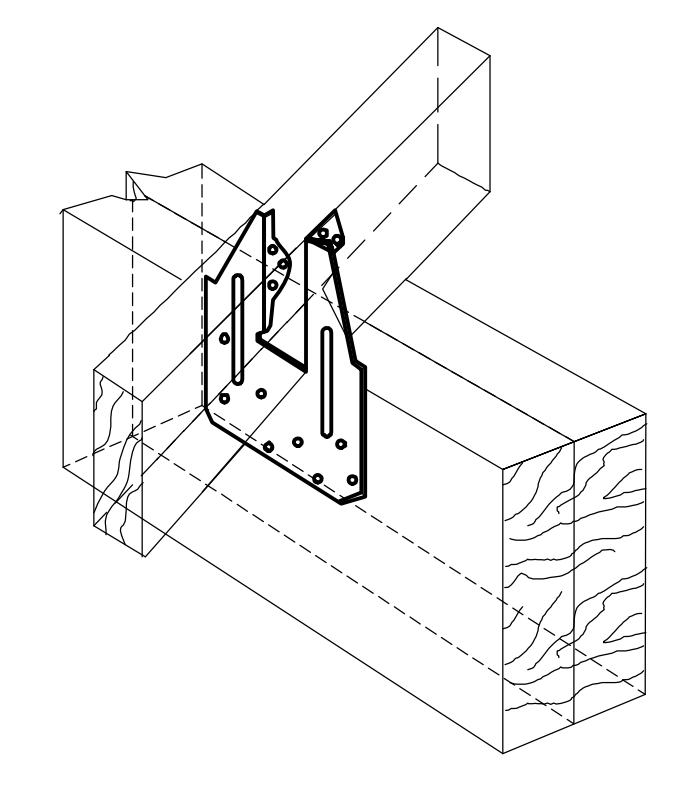


EXTERIOR (TWO) STORY WALL SECTION
 SCALE: 3/4" = 1'-0"

NOTE: BOTTOM OF FOOTING SHALL BE A MINIMUM OF 12" BELOW "UNDISTURBED" GRADE OR SOIL COMPACTATION TESTING WILL BE REQUIRED.
 HILLSBOROUGH COUNTY DEVELOPMENT SERVICES
 2050 W. GULF BLVD. SUITE 100
 CLEARWATER, FL 34615
 (813) 947-1000
 WWW.HILLSBOROUGHCOUNTYFLORIDA.GOV

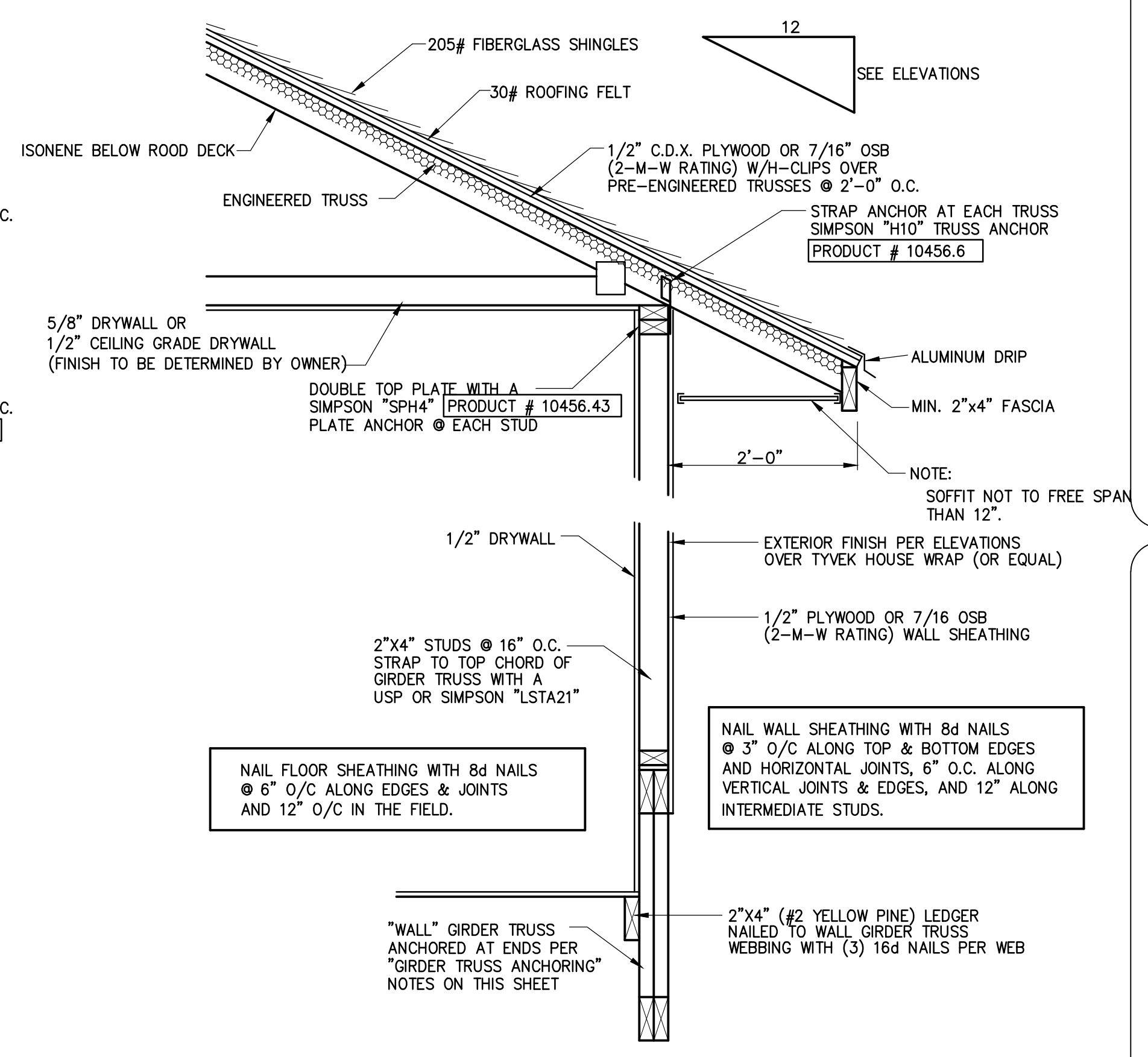


INTERIOR (TWO) STORY WALL SECTION
 SCALE: 3/4" = 1'-0"



PRODUCT CODE	DESCRIPTION	FASTENERS	DESIGN LOADS (LBS.)
		HEADER JOIST	UPLIFT F1 F2
SIMPSON "H10"	HURRICANE CLIP-WIDE	8-8d 8-8d	905 585 525

TRUSS TO BEAM DETAIL



"WALL" GIRDER SECTION
 SCALE: 3/4" = 1'-0"

NOTE:
 "STEP DOWN" GABLE TRUSS & OUTRIGGERS CAN BE ELIMINATED AT ROOF OVERHANGS 12" AND LESS.

NAIL ROOF SHEATHING WITH 8d NAILS
 @ 4" O/C ALONG GABLE ENDS, 6" O/C ALONG EDGES AND 6" O/C IN THE FIELD.

NAIL FLOOR SHEATHING WITH 8d NAILS
 @ 6" O/C ALONG EDGES & JOINTS AND 12" O/C IN THE FIELD.

GIRDER TRUSS ANCHORING:
 AT ROOF USE SIMPSON "HTS20" [PRODUCT # 10456.23] TWIST STRAP FOR UPLIFTS OF 1,450# AND LESS; USE "HTS20" [PRODUCT # 10456.23] STRAPS AT UPLIFTS FROM 1,451# UP TO 2,900# AND AT UPLIFTS FROM 2,901# UP TO 4,100# USE (2) SIMPSON "MSTA36" STRAPS
 AT TOP OF BLOCK ANCHOR POST WITH SIMPSON "LTT20B" [PRODUCT # 10456.23] TENSION TIE FOR UPLIFTS OF 1,750# & LESS; USE SIMPSON "HTT16" [PRODUCT # 11496.1] TENSION TIE AT UPLIFTS FROM 1,751# UP TO 3,480# AND AT UPLIFTS FROM 3,481# UP TO 5,250# USE SIMPSON "HTT22" [PRODUCT # 11496.1] TENSION TIE
 INSTALL A SUPPORT POST UNDER GIRDER PER "POST SUPPORT TABLE" OF GENERAL NOTE SHEET

NAIL FLOOR SHEATHING WITH 8d NAILS
 @ 6" O/C ALONG EDGES & JOINTS AND 12" O/C IN THE FIELD.

NAIL WALL SHEATHING WITH 8d NAILS
 @ 3" O/C ALONG TOP & BOTTOM EDGES AND HORIZONTAL JOINTS, 6" O/C ALONG VERTICAL JOINTS & EDGES, AND 12" ALONG INTERMEDIATE STUDS.

RALPH MERVINE
 4192 STONEHEDGE ROAD
 MULBERRY, FLORIDA 33660
 PHONE: (813) 508-1700
 EMAIL: 863CARTERSERVICES@GMAIL.COM

MOYA RESIDENCE

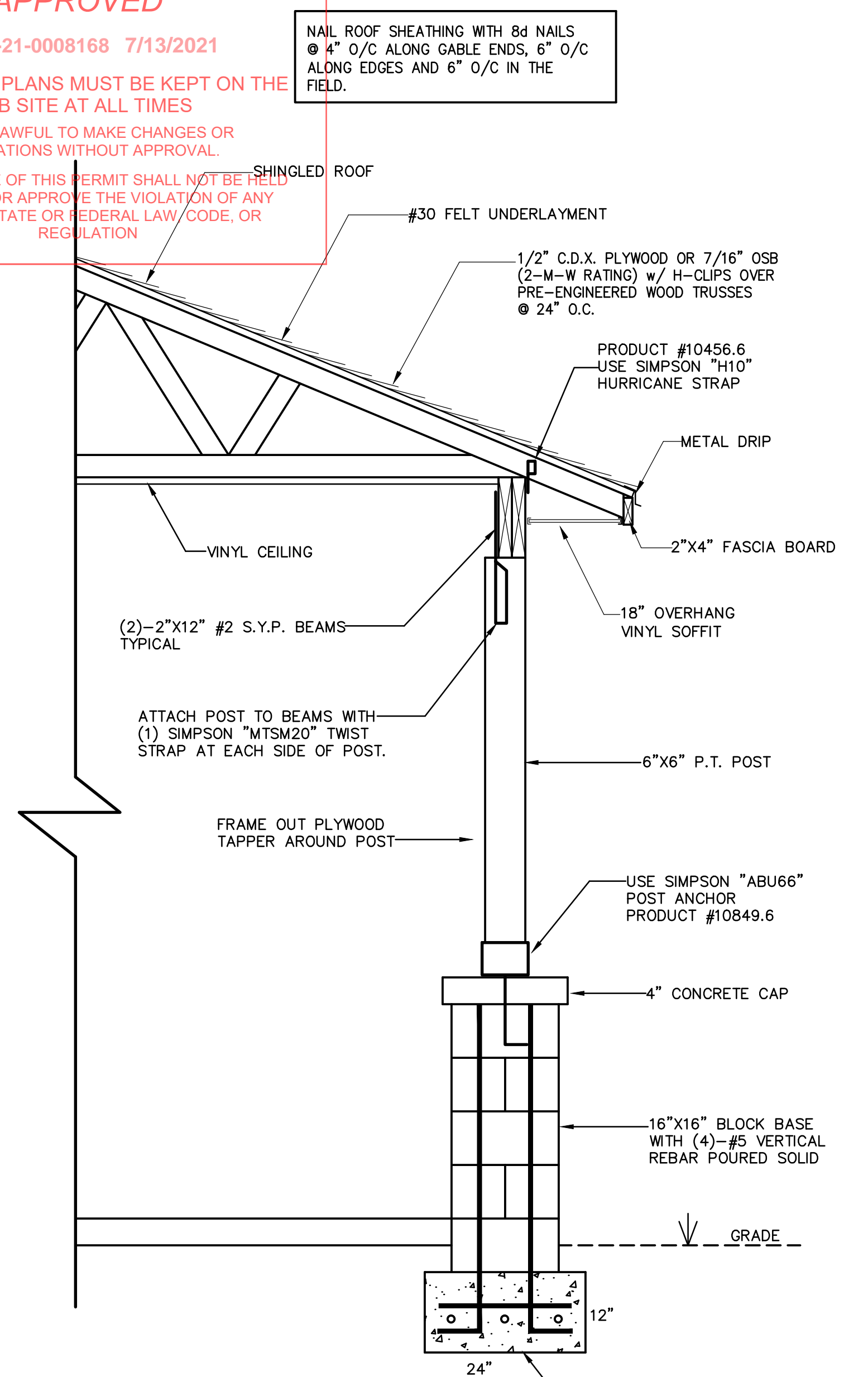
Wood Frame Details
 (Two Story Buildings)

DATE: 03-15-12
 SCALE: AS NOTED
 JOB # FBC2014-150
 SHEET
CB2

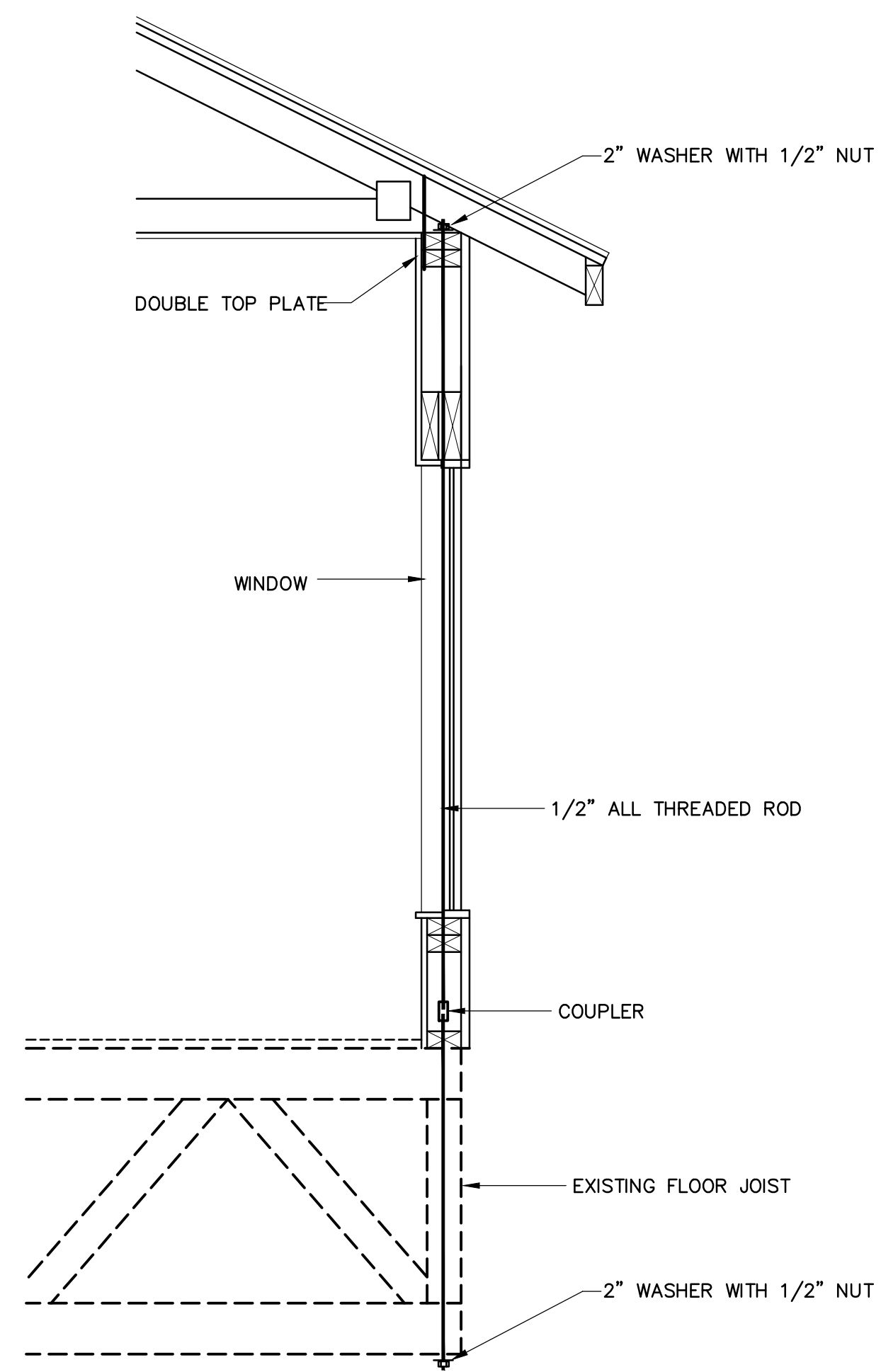
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RALPH MERVINE, P.E. #23128
 DATE: _____

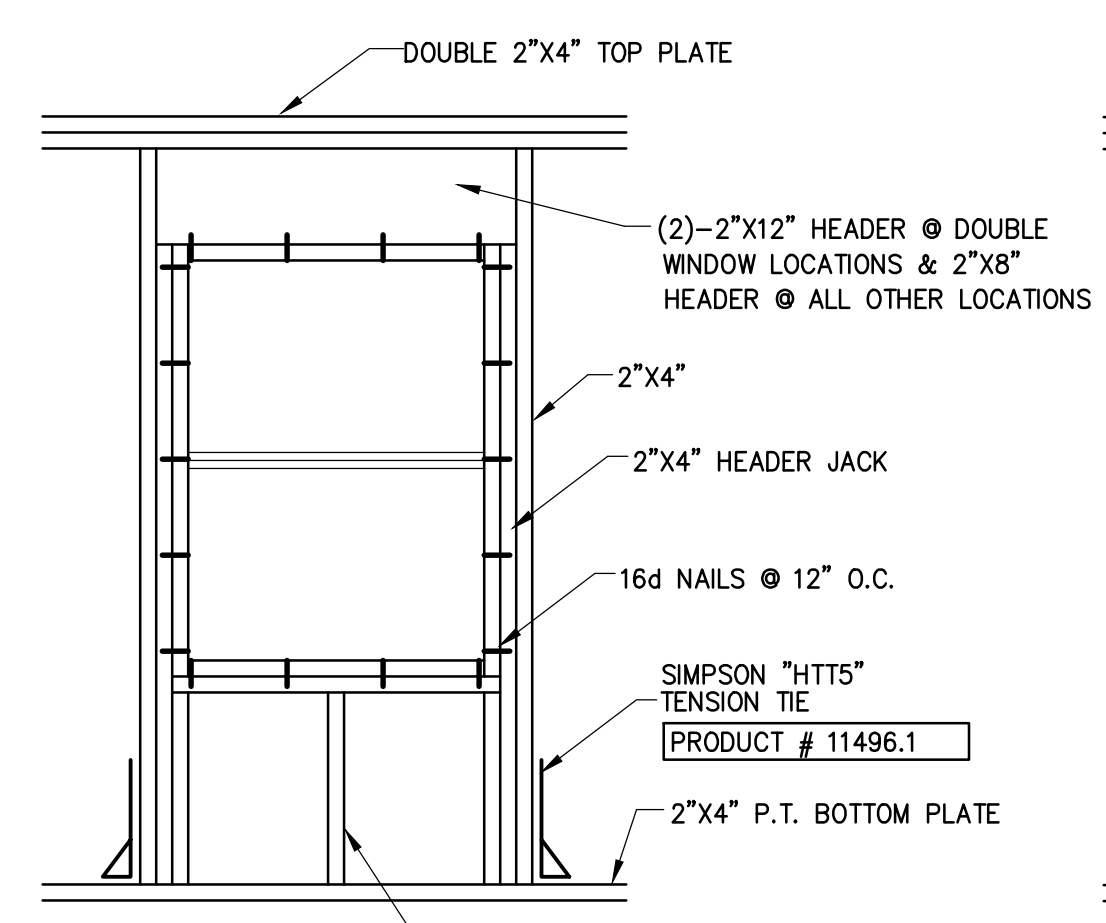
HILLSBOROUGH COUNTY
 PLANS REVIEWED FOR CODE COMPLIANCE
APPROVED
 HC-BLD-21-0008168 7/13/2021
 THIS SET OF PLANS MUST BE KEPT ON THE JOB SITE AT ALL TIMES
 IT IS UNLAWFUL TO MAKE CHANGES OR ALTERATIONS WITHOUT APPROVAL
 THE ISSUANCE OF THIS PERMIT SHALL NOT BE HELD TO PERMIT OR APPROVE THE VIOLATION OF ANY COUNTY, STATE OR FEDERAL LAW, CODE, OR REGULATION



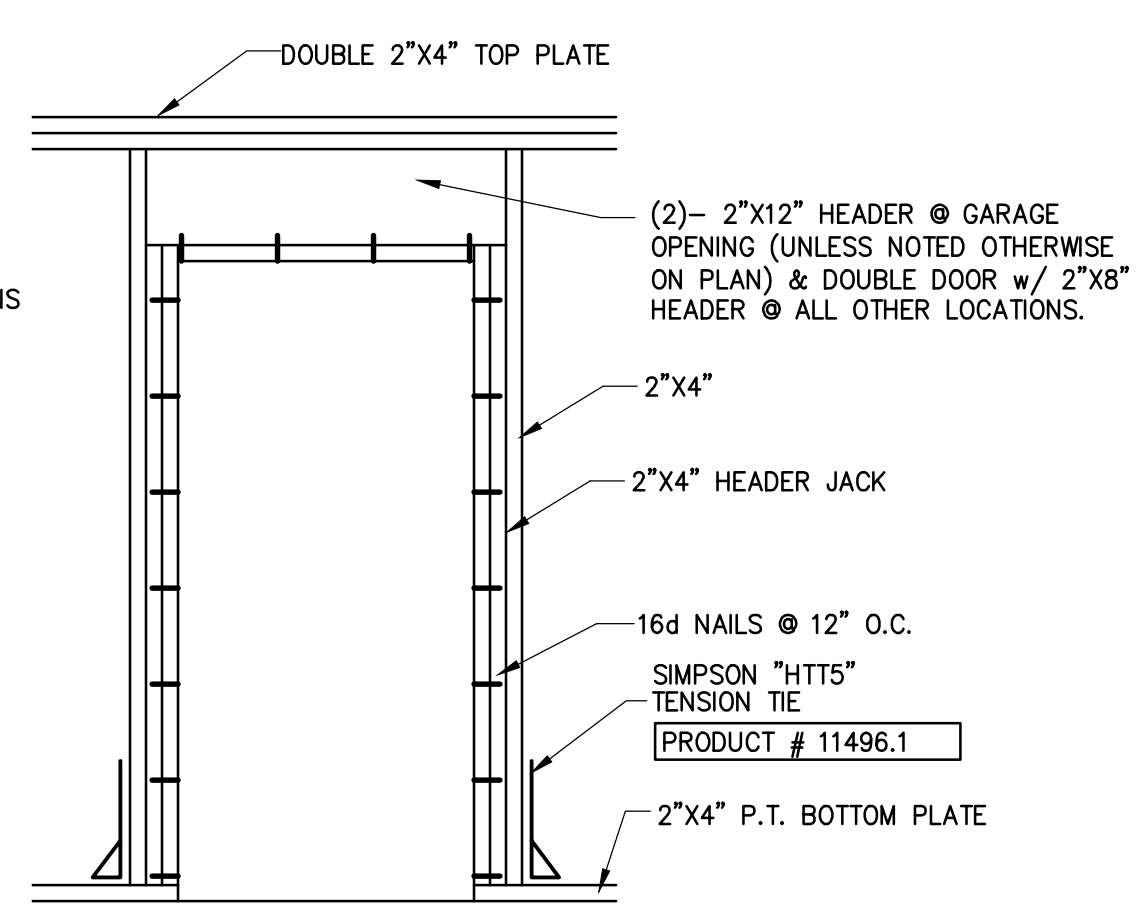
TYPICAL PORCH SECTION
 SCALE: 3/4" = 1'-0"



ALL THREADED ROD OPTION
 SCALE: 3/4" = 1'-0"

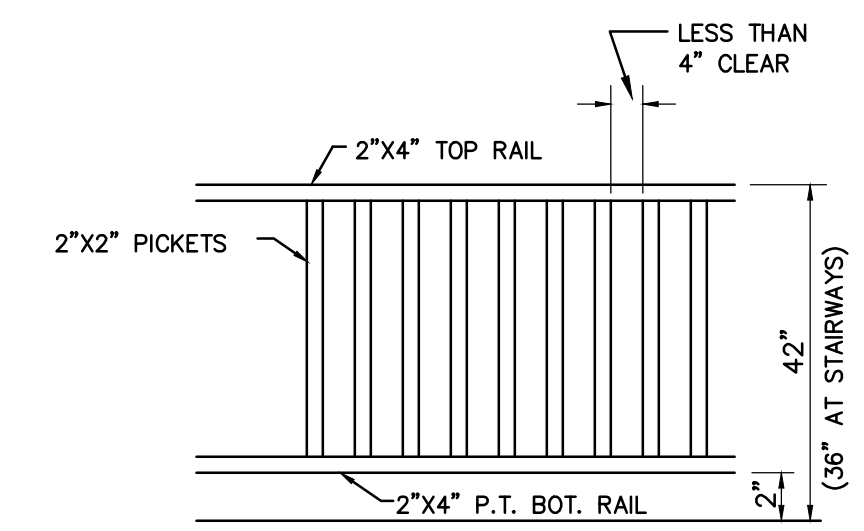


WINDOW JAMB DETAIL
 SCALE: 1/2" = 1'-0"



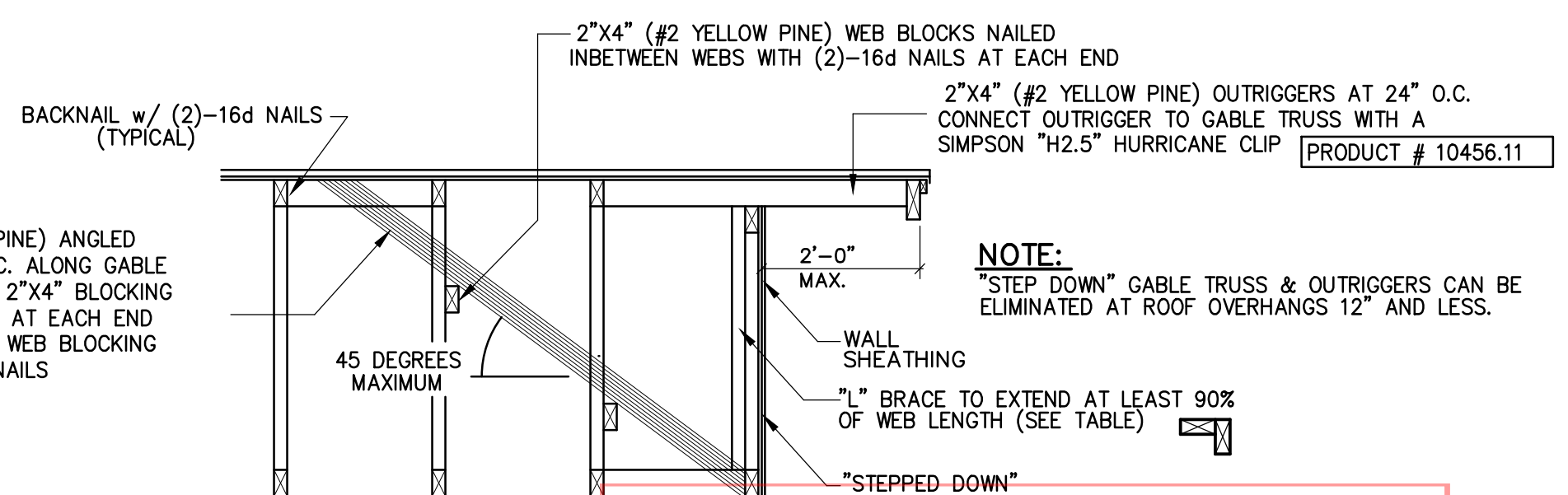
DOOR JAMB DETAIL
 SCALE: 1/2" = 1'-0"

NOTES: WINDOWS & DOORS MUST BE INSTALLED SUCH THAT THE MAXIMUM GAP BETWEEN THE FRAME AND SUPPORT FRAMING IS 1/4".
 INSTALL ALL WINDOW AND DOOR FRAME ASSEMBLIES PER THE MANUFACTURERS ANCHORING RECOMMENDATIONS TO ACHIEVE THE SPECIFIED DESIGN PRESSURES.
 STRAP ENDS OF HEADERS WITH A USP OR SIMPSON "LSTA24" STRAP TIE AT OPENINGS LESS THAN 5'-0" WIDE. AT OPENINGS 5'-0" AND WIDER USE (2) USP OR SIMPSON "LSTA24" STRAPS AT EACH END.



GUARDRAIL DETAIL
 SCALE: 1/2" = 1'-0"

GUARDRAILS:
 ALL UNENCLOSED FLOOR & ROOF OPENINGS, OPEN & GLAZED SIDES OF LANDINGS, STAIRS, RAMPS, BALCONIES AND PORCHES WHICH ARE MORE THAN 30 INCHES ABOVE FINISHED GROUND LEVEL OR A FLOOR BELOW SHALL BE PROTECTED BY A GUARDRAIL.
 OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A 4-INCH DIAMETER SPHERE CAN NOT PASS THROUGH ANY OPENING. A BOTTOM RAIL OR CURB SHALL BE PROVIDED THAT WILL REJECT THE PASSAGE OF 2-INCH DIAMETER SPHERE.
 GUARDRAILS FOR DWELLINGS, WITHIN INDIVIDUAL DWELLING UNITS OR GUEST ROOMS, AND IN RESIDENTIAL CARE/ASSISTED LIVING OCCUPANCIES SHALL BE A MINIMUM OF 36 INCHES HIGH.



GABLE END DETAIL
 SCALE: 1/2" = 1'-0"
 (FLAT CLG.)

PLANS RELEASED FOR CONSTRUCTION
 PROJECT REVIEWED FOR COMPLIANCE WITH THE 2021 FLORIDA BUILDING CODE. THIS SET OF PLANS IS APPLICABLE TO THIS PROJECT. DESIGN HAS NOT NECESSARILY BEEN REVIEWED OR CHECKED REGARDING SPECIFIC DESIGN ELEMENTS OR CALCULATIONS. THE ENGINEER OF RECORD IS FULLY RESPONSIBLE FOR THE FINAL DECISION, SIGNED AND SEALED PLANS AND DOCUMENTS.

"L" BRACING REQUIREMENTS (#2 YELLOW PINE)

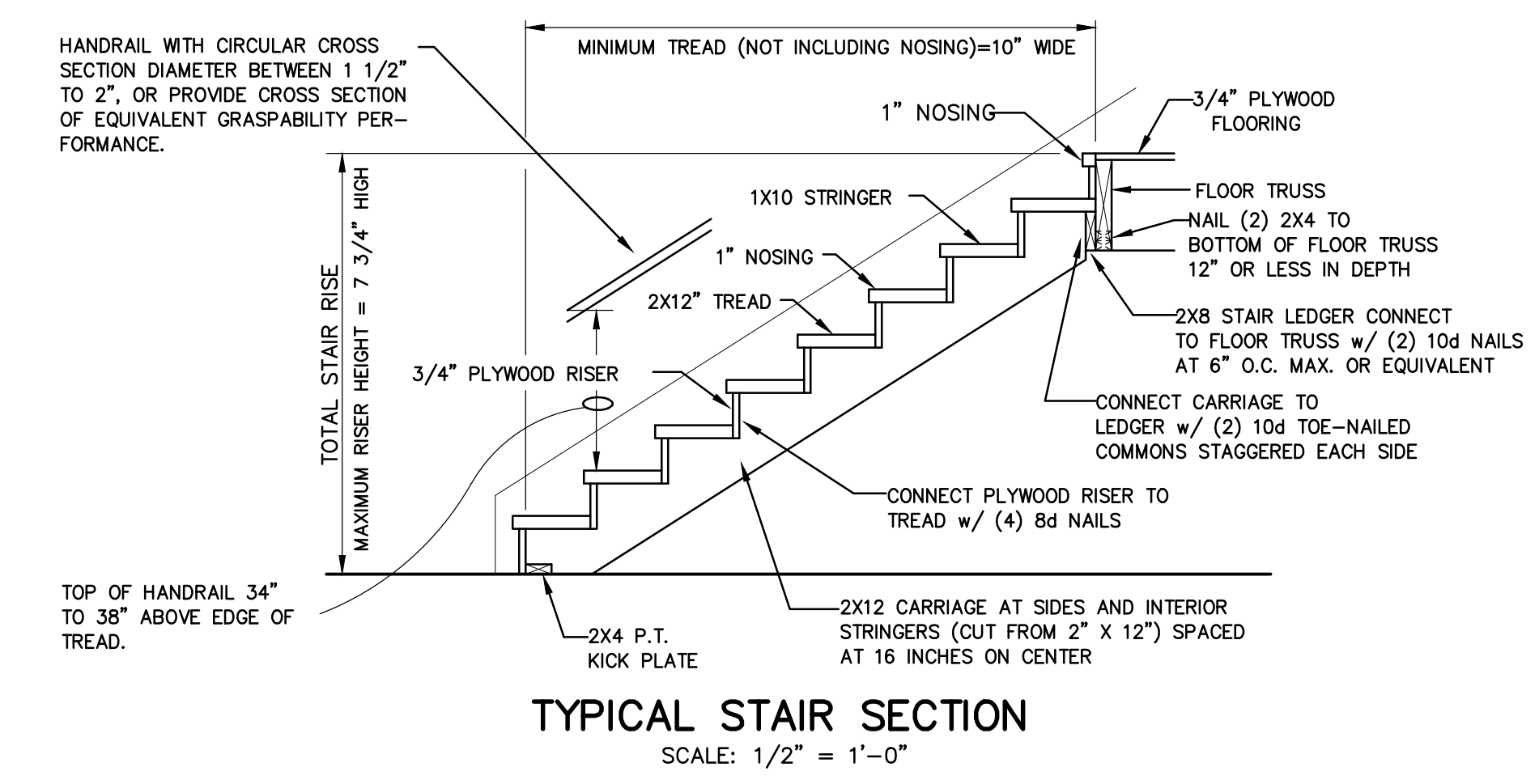
STUD SPACING	NO BRACING	(1) 2" X 4" L-BRACING	(2) 2" X 4" L-BRACING	(2) 2" X 6" L-BRACING
16"	4'-0"	4'-5"	5'-0"	8'-0"
18"	3'-0"	4'-0"	4'-5"	7'-0"
20"	2'-0"	3'-0"	3'-5"	6'-0"
22"	1'-0"	2'-0"	2'-5"	5'-0"

LINTEL LOAD CHART (16" DEEP SECTION)

CLEAR SPAN	CONCRETE U-LINTEL		
A 1'-6"	4987 PLF (UNFILLED)		
B 2'-2"	3435 PLF (UNFILLED)		
C 2'-8"	2777 PLF (UNFILLED)		
D 3'-2"	2332 PLF (UNFILLED)		
E 4'-0"	1835 PLF (UNFILLED)		
F 4'-6"	1624 PLF (UNFILLED)		
G 5'-2"	2739 PLF **		
H 6'-2"	2271 PLF **		
I 7'-0"	1987 PLF **		
J 8'-0"	1723 PLF **		
K 9'-2"	1489 PLF **		
L 10'-0"	1354 PLF **		
M 10'-8"	1277 PLF **		
N 11'-2"	1200 PLF **		
O 12'-0"	1109 PLF **		
P 12'-8"	1044 PLF **		
Q 13'-4"	1398 PLF ** P		
R 14'-0"	1327 PLF ** P		
S 16'-0"	1152 PLF ** P		
T 18'-0"	1016 PLF ** P		
U 18'-8"	977 PLF ** P		
V 20'-0"	876 PLF ** P		
W 22'-8"	789 PLF ** P		

** - DENOTES #5 REBAR X CONT. PLACED IN BOTTOM COURSE AND 16" DEEP BEAM POURED SOLID WITH 2,500 PSI CONCRETE.
 ** P - DENOTES PRE-STRESSED U-LINTEL WITH #5 REBAR X CONT. PLACED IN BOTTOM COURSE & 16" DEEP BEAM POURED SOLID WITH 2,500 PSI CONCRETE.

⊕ - DENOTES LINTEL SIZE
 ⊕ - DENOTES PRE-CAST LINTEL OR STEEL BEAM



TYPICAL STAIR SECTION
 SCALE: 1/2" = 1'-0"

I HEREBY CERTIFY: THAT THE CONSTRUCTION PLANS SHOWN HEREON ARE IN COMPLIANCE WITH CHAPTER 16, SECTION 1609 OF THE 2020 FLORIDA BUILDING CODE FOR 150 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH THE ENTIRE 2020 FLORIDA BUILDING CODE - (7TH EDITION) RESIDENTIAL.

RALPH MERVINE, P.E. #23128

DATE: _____

RALPH MERVINE
 4192 STONEHEDGE ROAD
 MULBERRY, FLORIDA 33860
 PHONE: (813) 508-1700
 EMAIL: 863CARTERSERVICES@GMAIL.COM

PROJECT:
MOYA RESIDENCE

Wood Frame Details
(One Story Buildings)

DATE: 03-15-12
 SCALE: AS NOTED
 JOB # FBC2014-150-II

SHEET
WF1

RESIDENTIAL ENERGY CONSERVATION CODE DOCUMENTATION CHECKLIST

Florida Department of Business and Professional Regulation Simulated Performance Alternative (Performance) Method

Applications for compliance with the 2020 Florida Building Code, Energy Conservation via the Residential Simulated Performance Alternative shall include:

- This checklist
- Form R405-2020 report
- Input summary checklist that can be used for field verification (usually four pages/may be greater)
- Energy Performance Level (EPL) Display Card (one page)
- HVAC system sizing and selection based on ACCA Manual S or per exceptions provided in Section R403.7
- Mandatory Requirements (five pages)

Required prior to CO:

- Air Barrier and Insulation Inspection Component Criteria checklist (Table R402.4.1.1 - one page)
- A completed 2020 Envelope Leakage Test Report (usually one page); exception in R402.4 allows dwelling units of R-2 Occupancies and multiple attached single family dwellings to comply with Section C402.5
- If Form R405 duct leakage type indicates anything other than "default leakage", then a completed 2020 Duct Leakage Test Report - Performance Method (usually one page)

THIS SET OF PLANS MUST BE KEPT ON THE
PROJECT SITE
IF ANY CHANGES ARE MADE TO THE
PLANS, THE ISSUANCE OF THIS PERMIT SHALL NOT BE HELD
TO PERMIT OR APPROVE THE VIOLATION OF ANY
COUNTY, STATE OR FEDERAL LAWS.

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Business and Professional Regulation - Residential Performance Method

Project Name: Moya Residence	Builder Name:
Street: 10008 Alsobrook Ave	Permit Office:
City, State, Zip: Riverview, FL, 33578	Permit Number:
Owner: Christopher Moya	Jurisdiction:
Design Location: FL, Orlando	County: Hillsborough (Florida Climate Zone 2)

<p>1. New construction or existing: New (From Plans)</p> <p>2. Single family or multiple family: Detached</p> <p>3. Number of units, if multiple family: 1</p> <p>4. Number of Bedrooms: 4</p> <p>5. Is this a worst case?: No</p> <p>6. Conditioned floor area above grade (ft²): 2569 Conditioned floor area below grade (ft²): 0</p> <p>7. Windows (348.1 sqft.)</p> <table border="1"> <thead> <tr> <th>Description</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td>a. U-Factor: Dbl, U=0.38 SHGC: SHGC=0.32</td> <td>254.15 ft²</td> </tr> <tr> <td>b. U-Factor: Dbl, U=0.45 SHGC: SHGC=0.34</td> <td>94.00 ft²</td> </tr> <tr> <td>c. U-Factor: N/A SHGC:</td> <td>ft²</td> </tr> <tr> <td>Area Weighted Average Overhang Depth:</td> <td>4.189 ft.</td> </tr> <tr> <td>Area Weighted Average SHGC:</td> <td>0.325</td> </tr> </tbody> </table> <p>8. Skylights</p> <table border="1"> <thead> <tr> <th>Description</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td>c. U-Factor:(AVG): N/A SHGC(AVG): N/A</td> <td>ft²</td> </tr> </tbody> </table> <p>9. Floor Types (2569.0 sqft.)</p> <table border="1"> <thead> <tr> <th>Description</th> <th>Insulation</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td>a. Slab-On-Grade Edge Insulation</td> <td>R=0.0</td> <td>1356.00 ft²</td> </tr> <tr> <td>b. Floor Over Other Space</td> <td>R=0.0</td> <td>1213.00 ft²</td> </tr> <tr> <td>c. N/A</td> <td>R=</td> <td>ft²</td> </tr> </tbody> </table>	Description	Area	a. U-Factor: Dbl, U=0.38 SHGC: SHGC=0.32	254.15 ft²	b. U-Factor: Dbl, U=0.45 SHGC: SHGC=0.34	94.00 ft²	c. U-Factor: N/A SHGC:	ft²	Area Weighted Average Overhang Depth:	4.189 ft.	Area Weighted Average SHGC:	0.325	Description	Area	c. U-Factor:(AVG): N/A SHGC(AVG): N/A	ft²	Description	Insulation	Area	a. Slab-On-Grade Edge Insulation	R=0.0	1356.00 ft²	b. Floor Over Other Space	R=0.0	1213.00 ft²	c. N/A	R=	ft²	<p>10. Wall Types (3305.8 sqft.)</p> <table border="1"> <thead> <tr> <th>Description</th> <th>Insulation</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td>a. Frame - Wood, Exterior</td> <td>R=13.0</td> <td>1642.70 ft²</td> </tr> <tr> <td>b. Concrete Block - Int Insul, Exterior</td> <td>R=4.2</td> <td>1263.10 ft²</td> </tr> <tr> <td>c. Frame - Wood, Adjacent</td> <td>R=13.0</td> <td>400.06 ft²</td> </tr> <tr> <td>d. N/A</td> <td>R=</td> <td>ft²</td> </tr> </tbody> </table> <p>11. Ceiling Types (1356.0 sqft.)</p> <table border="1"> <thead> <tr> <th>Description</th> <th>Insulation</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td>a. Roof Deck (Unvented)</td> <td>R=20.0</td> <td>1356.00 ft²</td> </tr> <tr> <td>b. N/A</td> <td>R=</td> <td>ft²</td> </tr> <tr> <td>c. N/A</td> <td>R=</td> <td>ft²</td> </tr> </tbody> </table> <p>12. Ducts</p> <table border="1"> <thead> <tr> <th>Description</th> <th>R</th> <th>ft²</th> </tr> </thead> <tbody> <tr> <td>a. Sup: 1st Floor, Ret: 1st Floor, AH: Garage</td> <td>6</td> <td>256.9</td> </tr> <tr> <td>b. Sup: Attic, Ret: Attic, AH: Attic</td> <td>6</td> <td>256.9</td> </tr> </tbody> </table> <p>13. Cooling systems</p> <table border="1"> <thead> <tr> <th>Description</th> <th>kBtu/hr</th> <th>Efficiency</th> </tr> </thead> <tbody> <tr> <td>a. Central Unit</td> <td>24.0</td> <td>SEER:14.00</td> </tr> <tr> <td>b. Central Unit</td> <td>24.0</td> <td>SEER:14.00</td> </tr> </tbody> </table> <p>14. Heating systems</p> <table border="1"> <thead> <tr> <th>Description</th> <th>kBtu/hr</th> <th>Efficiency</th> </tr> </thead> <tbody> <tr> <td>a. Electric Heat Pump</td> <td>24.0</td> <td>HSPF:8.20</td> </tr> <tr> <td>b. Electric Heat Pump</td> <td>24.0</td> <td>HSPF:8.20</td> </tr> </tbody> </table> <p>15. Hot water systems</p> <table border="1"> <thead> <tr> <th>Description</th> <th>Cap:</th> <th>EF:</th> </tr> </thead> <tbody> <tr> <td>a. Electric</td> <td>55 gallons</td> <td>0.945</td> </tr> <tr> <td>b. Conservation features</td> <td></td> <td>None</td> </tr> </tbody> </table> <p>16. Credits: CF, Pstat</p>	Description	Insulation	Area	a. Frame - Wood, Exterior	R=13.0	1642.70 ft²	b. Concrete Block - Int Insul, Exterior	R=4.2	1263.10 ft²	c. Frame - Wood, Adjacent	R=13.0	400.06 ft²	d. N/A	R=	ft²	Description	Insulation	Area	a. Roof Deck (Unvented)	R=20.0	1356.00 ft²	b. N/A	R=	ft²	c. N/A	R=	ft²	Description	R	ft²	a. Sup: 1st Floor, Ret: 1st Floor, AH: Garage	6	256.9	b. Sup: Attic, Ret: Attic, AH: Attic	6	256.9	Description	kBtu/hr	Efficiency	a. Central Unit	24.0	SEER:14.00	b. Central Unit	24.0	SEER:14.00	Description	kBtu/hr	Efficiency	a. Electric Heat Pump	24.0	HSPF:8.20	b. Electric Heat Pump	24.0	HSPF:8.20	Description	Cap:	EF:	a. Electric	55 gallons	0.945	b. Conservation features		None
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Glass/Floor Area: 0.136 Total Proposed Modified Loads: 71.61
Total Baseline Loads: 77.24

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: Thomas Tidwell
DATE: 2/10/21

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____
DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: _____
DATE: _____

- Compliance requires certification by the air handler unit manufacturer that the air handler enclosure qualifies as certified factory-sealed in accordance with R403.3.2.1.
- Compliance requires an Air Barrier and Insulation Inspection Checklist in accordance with R402.4.1.1 and this project requires an envelope leakage test report with envelope leakage no greater than 6.00 ACH50 (R402.4.1.2).



INPUT SUMMARY CHECKLIST REPORT

HC-BLD-21-0008168 7/13/2021
 THIS SET OF PLANS MUST BE KEPT ON THE
 JOB SITE AT ALL TIMES
 NO ALTERATIONS WITHOUT APPROVAL
 THE ISSUANCE OF THIS PERMIT SHALL NOT BE HELD
 TO PERMIT THE VIOLATION OF ANY
 FEDERAL, STATE, OR
 COUNTY REGULATIONS

PROJECT

Title: Moya Residence	Bedrooms: 4	Address Type: Street Address
Building Type: User	Conditioned Area: 2569	Lot #
Owner Name: Christopher Moya	Total Stories: 2	Block/Subdivision:
# of Units: 1	Worst Case: No	PlatBook:
Builder Name:	Rotate Angle: 0	Street: 10008 Alsobrook Ave
Permit Office:	Cross Ventilation:	County: Hillsborough
Jurisdiction:	Whole House Fan:	City, State, Zip: Riverview , FL , 33578
Family Type: Detached		
New/Existing: New (From Plans)		
Comment: FloridaEnergyCalcs.com		

CLIMATE

✓	Design Location	TMY Site	Design Temp		Int Design Temp		Heating Degree Days	Design Moisture	Daily Temp Range
			97.5 %	2.5 %	Winter	Summer			
	FL, Orlando	FL_ORLANDO_INTL_AR	41	91	70	75	526	44	Medium

BLOCKS

Number	Name	Area	Volume
1	Block1	1356	12655.5
2	Block2	1213	11320.9

SPACES

Number	Name	Area	Volume	Kitchen	Occupants	Bedrooms	Infil ID	Finished	Cooled	Heated
1	1st Floor	1356	12655.5	Yes	3	1	1	Yes	Yes	Yes
2	2nd Floor	1213	11320.9	No	4	3	1	Yes	Yes	Yes

FLOORS

✓	#	Floor Type	Space	Perimeter	Perimeter R-Value	Area	Joist R-Value	Tile	Wood	Carpet
	1	Slab-On-Grade Edge Insulatio	1st Floor	113 ft	0	1356 ft²	----	0	1	0
	2	Floor Over Other Space	2nd Floor	----	----	1213 ft²	0	0	1	0

ROOF

✓	#	Type	Materials	Roof Area	Gable Area	Roof Color	Rad Barr	Solar Absor.	SA Tested	Emitt	Emitt Tested	Deck Insul.	Pitch (deg)
	1	Hip	Composition shingles	1516 ft²	0 ft²	Medium	N	0.85	No	0.9	No	20	26.57

ATTIC

✓	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
	1	Full attic	Unvented	0	1356 ft²	N	Y

INPUT SUMMARY CHECKLIST REPORT

HC-BLD-21-0008168 7/13/2021
THIS SET OF PLANS MUST BE KEPT ON THE JOB SITE AT ALL TIMES
ALLEGED AS WITHOUT APPROVAL
THE ISSUANCE OF THIS PERMIT SHALL NOT BE HELD TO PERMIT THE APPROVE THE VIOLATION OF ANY CODES, ORDINANCES, RULES, REGULATIONS OR REGULATIONS

CEILING

#	Ceiling Type	Space	R-Value	Ins Type	Area	Framing Frac	Truss Type
1	Under Attic (Unvented)	2nd Floor	2.33	Blown	1213 ft²	0.11	Wood
2	Under Attic (Unvented)	1st Floor	2.33	Blown	143 ft²	0.11	Wood

WALLS

#	Ornt	Adjacent To	Wall Type	Space	Cavity R-Value	Width Ft	In	Height Ft	In	Area	Sheathing R-Value	Framing Fraction	Solar Absor	Below Grade%
1	S	Exterior	Concrete Block - Int Insul	1st Floor	4.2	12	8	9	4	118.2 ft²	1.83	0	0.68	0
2	W	Exterior	Concrete Block - Int Insul	1st Floor	4.2	5	4	9	4	49.8 ft²	1.83	0	0.68	0
3	S	Exterior	Concrete Block - Int Insul	1st Floor	4.2	17	4	9	4	161.8 ft²	1.83	0	0.68	0
4	W	Exterior	Concrete Block - Int Insul	1st Floor	4.2	31	4	9	4	292.4 ft²	1.83	0	0.68	0
5	N	Exterior	Concrete Block - Int Insul	1st Floor	4.2	20	0	9	4	186.7 ft²	1.83	0	0.68	0
6	N	Exterior	Concrete Block - Int Insul	1st Floor	4.2	11	4	9	4	105.8 ft²	1.83	0	0.68	0
7	N	Exterior	Concrete Block - Int Insul	1st Floor	4.2	20	0	9	4	186.7 ft²	1.83	0	0.68	0
8	E	Exterior	Concrete Block - Int Insul	1st Floor	4.2	17	4	9	4	161.8 ft²	1.83	0	0.68	0
9	S	Garage	Frame - Wood	1st Floor	13	24		9	3	222.0 ft²		0.23	0.01	0
10	E	Garage	Frame - Wood	1st Floor	13	19	3	9	3	178.1 ft²		0.23	0.01	0
11	S	Exterior	Frame - Wood	2nd Floor	13	13	4	9	4	124.4 ft²	1.83	0.23	0.68	0
12	E	Exterior	Frame - Wood	2nd Floor	13	5	4	9	4	49.8 ft²	1.83	0.23	0.68	0
13	S	Exterior	Frame - Wood	2nd Floor	13	6	0	9	4	56.0 ft²	1.83	0.23	0.68	0
14	E	Exterior	Frame - Wood	2nd Floor	13	10	8	9	4	99.6 ft²	1.83	0.23	0.68	0
15	S	Exterior	Frame - Wood	2nd Floor	13	11	4	9	4	105.8 ft²	1.83	0.23	0.68	0
16	W	Exterior	Frame - Wood	2nd Floor	13	20	8	9	4	192.9 ft²	1.83	0.23	0.68	0
17	N	Exterior	Frame - Wood	2nd Floor	13	51	4	9	4	479.1 ft²	1.83	0.23	0.68	0
18	E	Exterior	Frame - Wood	2nd Floor	13	20	8	9	4	192.9 ft²	1.83	0.23	0.68	0
19	S	Exterior	Frame - Wood	2nd Floor	13	20	8	9	4	192.9 ft²	1.83	0.23	0.68	0
20	E	Exterior	Frame - Wood	2nd Floor	13	16	0	9	4	149.3 ft²	1.83	0.23	0.68	0

DOORS

#	Ornt	Door Type	Space	Storms	U-Value	Width Ft	In	Height Ft	In	Area
1	S	Insulated	1st Floor	None	.25	3		8		24 ft²

WINDOWS

Orientation shown is the entered, Proposed orientation.

#	Ornt	Wall ID	Frame	Panes	NFRC	U-Factor	SHGC	Imp	Area	Overhang Depth	Separation	Int Shade	Screening
1	S	1	Vinyl	Low-E Double	Yes	0.38	0.32	N	32.4 ft²	1 ft 4 in	1 ft 2 in	Drapes/blinds	None
2	S	3	Vinyl	Low-E Double	Yes	0.38	0.32	N	32.4 ft²	5 ft 4 in	1 ft 2 in	Drapes/blinds	None
3	N	5	Metal	Low-E Double	Yes	0.45	0.34	N	72.0 ft²	10 ft 0 in	1 ft 2 in	Drapes/blinds	None
4	N	6	Vinyl	Low-E Double	Yes	0.38	0.32	N	23.2 ft²	1 ft 4 in	1 ft 2 in	Drapes/blinds	None
5	N	7	Vinyl	Low-E Double	Yes	0.38	0.32	N	11.6 ft²	10 ft 0 in	1 ft 2 in	Drapes/blinds	None
6	N	7	Vinyl	Low-E Double	Yes	0.38	0.32	N	16.2 ft²	10 ft 0 in	1 ft 2 in	Drapes/blinds	None
7	E	8	Vinyl	Low-E Double	Yes	0.38	0.32	N	16.2 ft²	1 ft 4 in	1 ft 2 in	Drapes/blinds	None
8	S	11	Vinyl	Low-E Double	Yes	0.38	0.32	N	32.4 ft²	1 ft 4 in	1 ft 2 in	Drapes/blinds	None
9	S	13	Vinyl	Low-E Double	Yes	0.38	0.32	N	16.2 ft²	1 ft 4 in	1 ft 2 in	Drapes/blinds	None

INPUT SUMMARY CHECKLIST REPORT

HC-BLD-21-0008168 7/13/2021
 THIS SET OF PLANS MUST BE KEPT ON THE
 JOB SITE AT ALL TIMES
 IT IS UNLAWFUL TO MAKE CHANGES OR
 ALTERATIONS
 THE ISSUANCE OF THIS PERMIT SHALL NOT BE HELD
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 COUNTY, STATE OR FEDERAL LAW, CODE OR
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WINDOWS

Orientation shown is the entered, Proposed orientation.

✓	#	Ornt	Wall		NFRC	U-Factor	SHGC	Imp	Area	Overhang		Int Shade	Screening	
			ID	Frame						Panels	Depth			Separation
✓	10	S	15	Vinyl	Low-E Double	Yes	0.38	0.32	N	9.3 ft²	1 ft 4 in	1 ft 2 in	Drapes/blinds	None
✓	11	N	17	Vinyl	Low-E Double	Yes	0.38	0.32	N	4.0 ft²	1 ft 4 in	1 ft 2 in	Drapes/blinds	None
✓	12	N	17	Vinyl	Low-E Double	Yes	0.38	0.32	N	32.4 ft²	1 ft 4 in	1 ft 2 in	Drapes/blinds	None
✓	13	N	17	Metal	Low-E Double	Yes	0.45	0.34	N	22.0 ft²	1 ft 4 in	1 ft 2 in	Drapes/blinds	None
✓	14	E	18	Vinyl	Low-E Double	Yes	0.38	0.32	N	14.0 ft²	1 ft 4 in	1 ft 2 in	Drapes/blinds	None
✓	15	E	18	Vinyl	Low-E Double	Yes	0.38	0.32	N	14.0 ft²	1 ft 4 in	1 ft 2 in	Drapes/blinds	None

GARAGE

✓	#	Floor Area	Ceiling Area	Exposed Wall Perimeter	Avg. Wall Height	Exposed Wall Insulation
✓	1	490 ft²	490 ft²	64 ft	8 ft	1

INFILTRATION

#	Scope	Method	SLA	CFM 50	ELA	EqLA	ACH	ACH 50
1	Wholehouse	Proposed ACH(50)	.000356	2397.6	131.54	246.96	.1693	6

HEATING SYSTEM

✓	#	System Type	Subtype	Speed	Efficiency	Capacity	Block	Ducts
✓	1	Electric Heat Pump/	Split	Singl	HSPF:8.2	24 kBtu/hr	1	sys#1
✓	2	Electric Heat Pump/	Split	Singl	HSPF:8.2	24 kBtu/hr	2	sys#2

COOLING SYSTEM

✓	#	System Type	Subtype	Subtype	Efficiency	Capacity	Air Flow	SHR	Block	Ducts
✓	1	Central Unit/	Split	Singl	SEER: 14	24 kBtu/hr	720 cfm	0.75	1	sys#1
✓	2	Central Unit/	Split	Singl	SEER: 14	24 kBtu/hr	720 cfm	0.75	2	sys#2

HOT WATER SYSTEM

✓	#	System Type	SubType	Location	EF	Cap	Use	SetPnt	Conservation
✓	1	Electric	None	Garage	0.945	55 gal	70 gal	120 deg	None

SOLAR HOT WATER SYSTEM

✓	FSEC Cert #	Company Name	System Model #	Collector Model #	Collector Area	Storage Volume	FEF
✓	None	None			ft²		

INPUT SUMMARY CHECKLIST REPORT

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DUCTS

#	---- Supply ----				---- Return ----				Leakage Type	Air Handler	CFM 25 TOT	CFM25 OUT	QN	RLF	HVAC #	
	Location	R-Value	Area	Location	Area	Area	Heat	Cool								
1	1st Floor	6	256.9 ft	1st Floor	64.225		Default Leakage	Garage	(Default)	(Default)				1	1	
2	Attic	6	256.9 ft	Attic	64.225		Default Leakage	Attic	(Default)	(Default)				2	2	

TEMPERATURES

Programable Thermostat: Y						Ceiling Fans:						
Cooling	<input type="checkbox"/> Jan	<input type="checkbox"/> Feb	<input type="checkbox"/> Mar	<input type="checkbox"/> Apr	<input type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input type="checkbox"/> Oct	<input type="checkbox"/> Nov	<input type="checkbox"/> Dec
Heating	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input type="checkbox"/> Apr	<input type="checkbox"/> May	<input type="checkbox"/> Jun	<input type="checkbox"/> Jul	<input type="checkbox"/> Aug	<input type="checkbox"/> Sep	<input type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec
Venting	<input type="checkbox"/> Jan	<input type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input type="checkbox"/> May	<input type="checkbox"/> Jun	<input type="checkbox"/> Jul	<input type="checkbox"/> Aug	<input type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input type="checkbox"/> Dec

Thermostat Schedule:	HERS 2006 Reference												
Schedule Type		1	2	3	4	5	6	7	8	9	10	11	12
Cooling (WD)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	80	80	80	80	80	80	80	80	80	80	80	80
Cooling (WEH)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Heating (WD)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66
Heating (WEH)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66

MASS

Mass Type	Area	Thickness	Furniture Fraction	Space
Default(8 lbs/sq.ft.	0 ft²	0 ft	0.3	1st Floor
Default(8 lbs/sq.ft.	0 ft²	0 ft	0.3	2nd Floor

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Building Input Summary Report

PROJECT

Title:	Moya Residence	Address type:	S
Building Type:	User	Bedrooms:	4
Owner:	Christopher Moya	Conditioned Area:	2569
		Total Stories:	2
Builder Name:		Worst Case:	No
Permit Office:		Rotate Angle:	0
Jurisdiction:		Cross Ventilation:	
Family Type:	Detached	Whole House Fan:	
New/Existing:	New (From Plans)	Terrain:	Suburban
Year Construct:	2021	Shielding:	Suburban
Comment:	FloridaEnergyCalcs.com		
		Street:	10008 Alsobrook Ave
		County:	Hillsborough
		City, State, Zip:	Riverview, FL, 33578

CLIMATE

Design Location	Tmy Site	Design Temp	Design Temp	Int Design Temp	Heating	Design	Daily temp	
		97.5%	2.5%	Winter	Summer	Degree Days	Moisture	Range
<input checked="" type="checkbox"/> FL, Orlando	FL_ORLANDO_INTL_ARPT	41	91	70	75	526	44	Medium

UTILITY

Fuel	Unit	Utility Name	Monthly Fixed Cost	\$/Unit
<input type="checkbox"/> Electricity	kWh	EnergyGauge Default	0.00	0.13
<input type="checkbox"/> Natural Gas	Therm	EnergyGauge Default	0.00	1.72
<input type="checkbox"/> Fuel Oil	Gallon	EnergyGauge Default	0.00	1.10
<input type="checkbox"/> Propane	Gallon	EnergyGauge Default	0.00	1.40

SURROUNDINGS

Ornt	Type	-----Shade Trees-----			Exist	-----Adjacent Buildings-----		
		Height	Width	Distance		Height	Width	Distance
N	None	0 ft	0 ft	0 ft		0 ft	0 ft	0 ft
NE	None	0 ft	0 ft	0 ft		0 ft	0 ft	0 ft
E	None	0 ft	0 ft	0 ft		0 ft	0 ft	0 ft
SE	None	0 ft	0 ft	0 ft		0 ft	0 ft	0 ft
S	None	0 ft	0 ft	0 ft		0 ft	0 ft	0 ft
SW	None	0 ft	0 ft	0 ft		0 ft	0 ft	0 ft
W	None	0 ft	0 ft	0 ft		0 ft	0 ft	0 ft
NW	None	0 ft	0 ft	0 ft		0 ft	0 ft	0 ft

BLOCKS

Number	Name	Area	Volume
<input type="checkbox"/> 1	Block1	1356	12655.5478515625
<input type="checkbox"/> 2	Block2	1213	11320.9287109375

SPACES

Number	Name	Area	Volume	Kitchen	Occupants	Bedrooms	Finished	Cooled	Heated
<input type="checkbox"/> 1	1st Floor	1356	12655.548	Yes	3	1	Yes	Yes	Yes
<input type="checkbox"/> 2	2nd Floor	1213	11320.929	No	4	3	Yes	Yes	Yes

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Building Input Summary Report

FLOORS (Total Exposed Area = 1356 sq.ft.)											
✓ #	Floor Type	Space	Exposed Perim	Perimeter R-Value	Area	U-Factor	Joist R-Value	Tile	Wood	Carpet	
___ 1	Slab-On-Grade Edge Ins	1st Floor	113	0	1356 ft	0.473	---	0.00	1.00	0.00	
___ 2	Floor Over Other Space	2nd Floor	---	---	1213 ft	0.220		0.00	1.00	0.00	

ROOF												
✓ #	Type	Materials	Roof Area	Gable Area	Roof Color	Rad Barr	Solar Absor.	SA Tested	Emitt Tested	Emitt Tested	Deck Insul.	Pitch (deg)
___ 1	Hip	Composition shingles	1516 ft²	0 ft²	Medium	N	0.85	No	0.9	No	20	26.57

ATTIC						
✓ #	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
___ 1	Full attic	Unvented	0	1356 ft²	N	Y

CEILING (Total Exposed Area = 1356 sq.ft.)								
✓ #	Ceiling Type	Space	R-Value	Ins. Type	Area	U-Factor	Framing Frac.	Truss Type
___ 1	Under Attic(Unvented)	2nd Floor	2.3	Blown	1213.0ft²	0.042	0.11	Wood
___ 2	Under Attic(Unvented)	1st Floor	2.3	Blown	143.0ft²	0.042	0.11	Wood

WALLS (Total Exposed Area = 3306 sq.ft.)															
✓ #	Ornt	Adjacent To	Wall Type	Space	Cavity R-Value	Width Ft	Height Ft	Area sq.ft.	U-Factor	Sheath R-Value	Frm. Frac.	Solar Absor.	Below Grade		
___ 1	S	Exterior	Conc. Blk - Int Ins	1st Floor	4.2	12.0	8	9.0	4	118.2	0.116	1.83	0	0.68	0 %
___ 2	W	Exterior	Conc. Blk - Int Ins	1st Floor	4.2	5.0	4	9.0	4	49.8	0.116	1.83	0	0.68	0 %
___ 3	S	Exterior	Conc. Blk - Int Ins	1st Floor	4.2	17.0	4	9.0	4	161.8	0.116	1.83	0	0.68	0 %
___ 4	W	Exterior	Conc. Blk - Int Ins	1st Floor	4.2	31.0	4	9.0	4	292.4	0.116	1.83	0	0.68	0 %
___ 5	N	Exterior	Conc. Blk - Int Ins	1st Floor	4.2	20.0	0	9.0	4	186.7	0.116	1.83	0	0.68	0 %
___ 6	N	Exterior	Conc. Blk - Int Ins	1st Floor	4.2	11.0	4	9.0	4	105.8	0.116	1.83	0	0.68	0 %
___ 7	N	Exterior	Conc. Blk - Int Ins	1st Floor	4.2	20.0	0	9.0	4	186.7	0.116	1.83	0	0.68	0 %
___ 8	E	Exterior	Conc. Blk - Int Ins	1st Floor	4.2	17.0	4	9.0	4	161.8	0.116	1.83	0	0.68	0 %
___ 9	S	Garage	Frame - Wood	1st Floor	13.0	24.0	0	9.0	3	222.0	0.084		0.23	0.01	0 %
___ 10	E	Garage	Frame - Wood	1st Floor	13.0	19.0	3	9.0	3	178.1	0.084		0.23	0.01	0 %
___ 11	S	Exterior	Frame - Wood	2nd Floor	13.0	13.0	4	9.0	4	124.4	0.072	1.83	0.23	0.68	0 %
___ 12	E	Exterior	Frame - Wood	2nd Floor	13.0	5.0	4	9.0	4	49.8	0.072	1.83	0.23	0.68	0 %
___ 13	S	Exterior	Frame - Wood	2nd Floor	13.0	6.0	0	9.0	4	56.0	0.072	1.83	0.23	0.68	0 %
___ 14	E	Exterior	Frame - Wood	2nd Floor	13.0	10.0	8	9.0	4	99.6	0.072	1.83	0.23	0.68	0 %
___ 15	S	Exterior	Frame - Wood	2nd Floor	13.0	11.0	4	9.0	4	105.8	0.072	1.83	0.23	0.68	0 %
___ 16	W	Exterior	Frame - Wood	2nd Floor	13.0	20.0	8	9.0	4	192.9	0.072	1.83	0.23	0.68	0 %
___ 17	N	Exterior	Frame - Wood	2nd Floor	13.0	51.0	4	9.0	4	479.1	0.072	1.83	0.23	0.68	0 %
___ 18	E	Exterior	Frame - Wood	2nd Floor	13.0	20.0	8	9.0	4	192.9	0.072	1.83	0.23	0.68	0 %
___ 19	S	Exterior	Frame - Wood	2nd Floor	13.0	20.0	8	9.0	4	192.9	0.072	1.83	0.23	0.68	0 %
___ 20	E	Exterior	Frame - Wood	2nd Floor	13.0	16.0	0	9.0	4	149.3	0.072	1.83	0.23	0.68	0 %

DOORS (Total Exposed Area = 24 sq.ft.)											
✓ #	Ornt	Adjacent To	Door Type	Space	Storms	U-Value	Width Ft	Height Ft	Area		
___ 1	S	Exterior	Insulated	1st Floor	None	0.25	3.00	0	8.00	0	24.0ft²

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Building Input Summary Report

WINDOWS														(Total Exposed Area = 348 sq.ft.)	
✓ #	Ornt	Wall ID	Frame	Panes	NFRC	U-Factor	SHGC	Imp	Storm	Area	----Overhang----				
											Depth	Separation	Interior Shade	Screening	
___ 1	S	1	Vinyl	Low-E Double	Yes	0.38	0.32	N	N	32.4ft²	1.0 ft 4 in	1.0 ft 2 in	Drapes/blinds	None	
___ 2	S	3	Vinyl	Low-E Double	Yes	0.38	0.32	N	N	32.4ft²	5.0 ft 4 in	1.0 ft 2 in	Drapes/blinds	None	
___ 3	N	5	Metal	Low-E Double	Yes	0.45	0.34	N	N	72.0ft²	10.0 ft 0 in	1.0 ft 2 in	Drapes/blinds	None	
___ 4	N	6	Vinyl	Low-E Double	Yes	0.38	0.32	N	N	23.2ft²	1.0 ft 4 in	1.0 ft 2 in	Drapes/blinds	None	
___ 5	N	7	Vinyl	Low-E Double	Yes	0.38	0.32	N	N	11.6ft²	10.0 ft 0 in	1.0 ft 2 in	Drapes/blinds	None	
___ 6	N	7	Vinyl	Low-E Double	Yes	0.38	0.32	N	N	16.2ft²	10.0 ft 0 in	1.0 ft 2 in	Drapes/blinds	None	
___ 7	E	8	Vinyl	Low-E Double	Yes	0.38	0.32	N	N	16.2ft²	1.0 ft 4 in	1.0 ft 2 in	Drapes/blinds	None	
___ 8	S	11	Vinyl	Low-E Double	Yes	0.38	0.32	N	N	32.4ft²	1.0 ft 4 in	1.0 ft 2 in	Drapes/blinds	None	
___ 9	S	13	Vinyl	Low-E Double	Yes	0.38	0.32	N	N	16.2ft²	1.0 ft 4 in	1.0 ft 2 in	Drapes/blinds	None	
___ 10	S	15	Vinyl	Low-E Double	Yes	0.38	0.32	N	N	9.3ft²	1.0 ft 4 in	1.0 ft 2 in	Drapes/blinds	None	
___ 11	N	17	Vinyl	Low-E Double	Yes	0.38	0.32	N	N	4.0ft²	1.0 ft 4 in	1.0 ft 2 in	Drapes/blinds	None	
___ 12	N	17	Vinyl	Low-E Double	Yes	0.38	0.32	N	N	32.4ft²	1.0 ft 4 in	1.0 ft 2 in	Drapes/blinds	None	
___ 13	N	17	Metal	Low-E Double	Yes	0.45	0.34	N	N	22.0ft²	1.0 ft 4 in	1.0 ft 2 in	Drapes/blinds	None	
___ 14	E	18	Vinyl	Low-E Double	Yes	0.38	0.32	N	N	14.0ft²	1.0 ft 4 in	1.0 ft 2 in	Drapes/blinds	None	
___ 15	E	18	Vinyl	Low-E Double	Yes	0.38	0.32	N	N	14.0ft²	1.0 ft 4 in	1.0 ft 2 in	Drapes/blinds	None	

INFILTRATION										
✓ #	Scope	Method	SLA	CFM50	ELA	EqLA	ACH	ACH50	Space(s)	
___ 1	Wholehouse	Proposed ACH(50)	0.00036	2398	131.54	246.96	0.1693	6.0	All	

GARAGE						
✓ #	Floor Area	Roof Area	Exposed Wall Perimeter	Avg. Wall Height	Exposed Wall Insulation	
___ 1	490 ft²	490 ft²	64 ft	8 ft	1	

MASS						
✓ #	Mass Type	Area	Thickness	Furniture Fraction	Space	
___ 1	Default(8 lbs/sq.ft.)	0 ft²	0 ft	0.30	1st Floor	
___ 2	Default(8 lbs/sq.ft.)	0 ft²	0 ft	0.30	2nd Floor	

HEATING SYSTEM											
✓ #	System Type	Subtype/Speed	AHRI #	Efficiency	Capacity kBtu/hr	----Geothermal HeatPump----			Ducts	Block	
						Entry	Power	Volt	Current		
___ 1	Electric Heat Pump	Split/Single		HSPF: 8.20	24.0	0.00	0.00	0.00	0.00	sys#1	1
___ 2	Electric Heat Pump	Split/Single		HSPF: 8.20	24.0	0.00	0.00	0.00	0.00	sys#2	2

COOLING SYSTEM										
✓ #	System Type	Subtype/Speed	AHRI #	Efficiency	Capacity kBtu/hr	Air Flow cfm	SHR	Duct	Block	
___ 1	Central Unit	Split/Single		SEER:14	24.0	720	0.75	sys#1	1	
___ 2	Central Unit	Split/Single		SEER:14	24.0	720	0.75	sys#2	2	

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HOT WATER SYSTEM

✓ #	System Type	Subtype	Location	EF(UEF)	Cap	Use	SetPnt	Fixture Flow	Pipe Ins.	Pipe length
___ 1	Electric	None	Garage	0.94 (0.93)	55.00 gal	70 gal	120 deg	Standard	=>R-3	34
	Recirculation System	Recirc Control Type	Loop length	Branch length	Pump power	DWHR	Facilities Connected	Equal Flow	DWHR Eff	Other Credits
___ 1	No		NA	NA	NA	No	NA	NA	NA	None

DUCTS

✓ Duct #	-----Supply----- Location	R-Value	Area	-----Return----- Location	R-Value	Area	Leakage Type	Air Handler	CFM 25 TOT	CFM 25 OUT	QN	RLF	HVAC # Heat Cool
___ 1	1st Floor	6.0	257 ft²	1st Floor	6.0	64 ft²	Default Leakage	Garage	(Default)	(Default)			1 1
___ 2	Attic	6.0	257 ft²	Attic	6.0	64 ft²	Default Leakage	Attic	(Default)	(Default)			2 2

TEMPERATURES

Programable Thermostat: Y Ceiling Fans: N

Cooling	<input type="checkbox"/> Jan	<input type="checkbox"/> Feb	<input type="checkbox"/> Mar	<input type="checkbox"/> Apr	<input type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input type="checkbox"/> Oct	<input type="checkbox"/> Nov	<input type="checkbox"/> Dec
Heating	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input type="checkbox"/> Apr	<input type="checkbox"/> May	<input type="checkbox"/> Jun	<input type="checkbox"/> Jul	<input type="checkbox"/> Aug	<input type="checkbox"/> Sep	<input type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec
Venting	<input type="checkbox"/> Jan	<input type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input type="checkbox"/> May	<input type="checkbox"/> Jun	<input type="checkbox"/> Jul	<input type="checkbox"/> Aug	<input type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input type="checkbox"/> Dec

Thermostat Schedule: HERS 2006 Reference

✓ Schedule Type		1	2	3	4	5	6	7	8	9	10	11	12
___ Cooling (WD)	AM PM	78 80	78 80	78 78	78 78	78 78	78 78	78 78	78 78	80 78	80 78	80 78	80 78
___ Cooling (WEH)	AM PM	78 78	78 78	78 78	78 78	78 78	78 78	78 78	78 78	78 78	78 78	78 78	78 78
___ Heating (WD)	AM PM	66 68	66 68	66 68	66 68	66 68	68 68	68 68	68 68	68 68	68 68	68 66	68 66
___ Heating (WEH)	AM PM	66 68	66 68	66 68	66 68	66 68	68 68	68 68	68 68	68 68	68 68	68 66	68 66

MISC ELECTRICAL LOADS

✓ ID	Type	Screen	Location	Item	Quantity	Catagory	Operating	Schedule	Off Standby
___ 1	Misc Elec Load	Simple Default	Main		1		1	HERS2011	1

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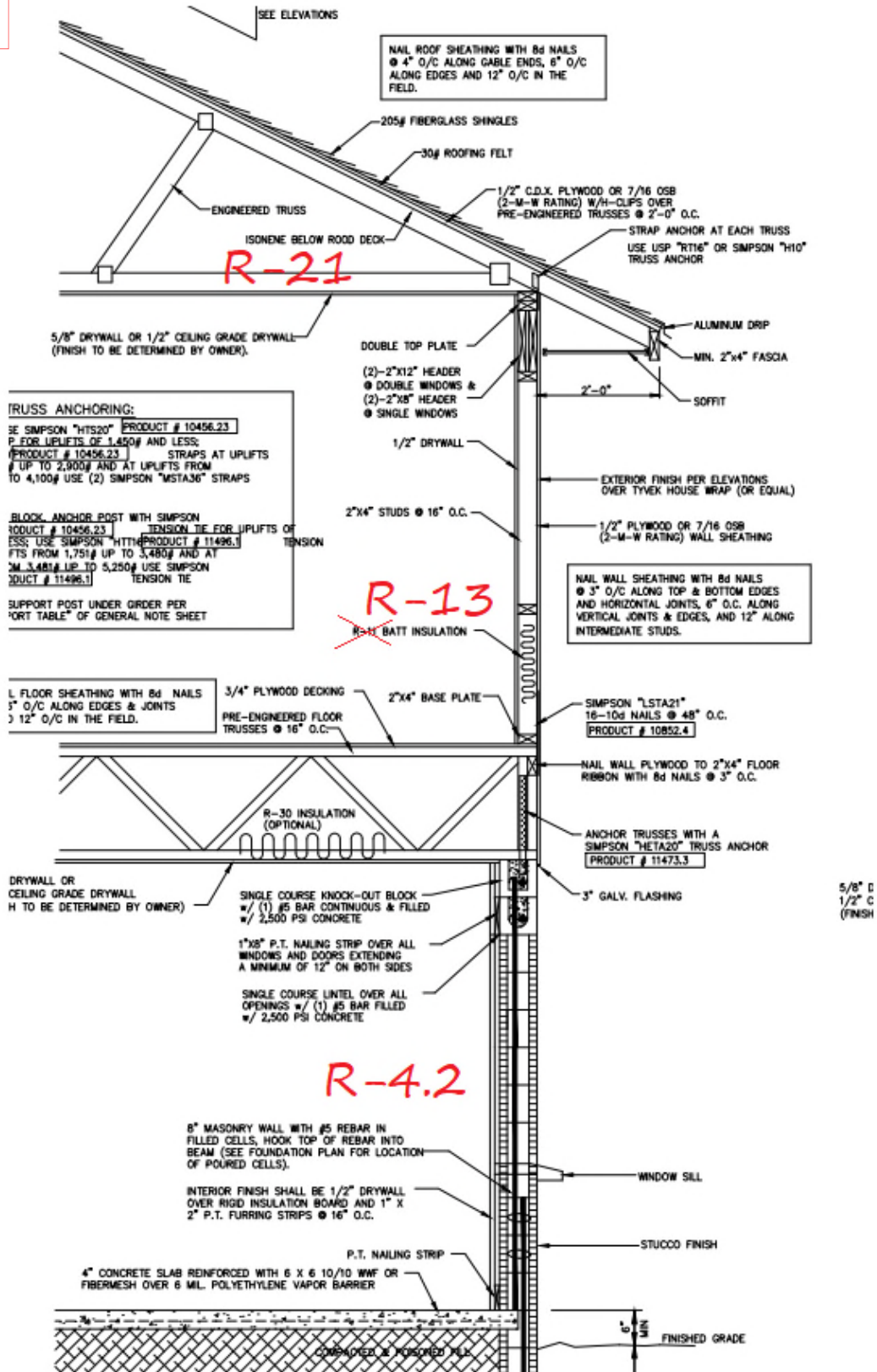
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Building Input Summary Report

APPLIANCES & LIGHTING SCHEDULES

Appliance Schedule: HERS2014			Hours											
Schedule Type			1	2	3	4	5	6	7	8	9	10	11	12
Occupancy peak:	400 Btu	AM	0.930	0.930	0.930	0.930	0.930	0.930	0.930	0.980	0.460	0.270	0.270	0.270
% Released:	100 %	PM	0.270	0.270	0.270	0.270	0.330	0.610	1.000	1.000	0.930	0.930	0.930	0.930
refrig peak:	0 W	AM	0.824	0.804	0.784	0.764	0.744	0.734	0.744	0.754	0.764	0.794	0.814	0.854
% Released:	100 %	PM	0.854	0.864	0.884	0.904	0.925	0.945	0.925	0.915	0.904	0.894	0.874	0.854
cWash peak:	0 W	AM	0.200	0.100	0.050	0.050	0.050	0.075	0.200	0.375	0.500	0.800	0.950	1.000
% Released:	30 %	PM	0.875	0.850	0.800	0.625	0.625	0.600	0.575	0.550	0.625	0.700	0.650	0.375
E-cDry peak:	0 W	AM	0.200	0.100	0.050	0.050	0.050	0.075	0.200	0.375	0.500	0.800	0.950	1.000
% Released:	15 %	PM	0.875	0.850	0.800	0.625	0.625	0.600	0.575	0.550	0.625	0.700	0.650	0.375
dWash peak:	0 W	AM	0.139	0.050	0.028	0.024	0.029	0.090	0.169	0.303	0.541	0.594	0.502	0.443
% Released:	60 %	PM	0.376	0.396	0.334	0.323	0.344	0.448	0.791	1.000	0.800	0.597	0.383	0.281
E-rOven peak:	0 W	AM	0.057	0.057	0.057	0.057	0.057	0.114	0.171	0.286	0.343	0.343	0.343	0.400
% Released:	80 %	PM	0.457	0.343	0.286	0.400	0.571	1.000	0.857	0.429	0.286	0.229	0.171	0.114
TVs peak:	252 W	AM	0.100	0.050	0.050	0.050	0.100	0.200	0.400	0.450	0.400	0.200	0.100	0.100
% Released:	100 %	PM	0.050	0.050	0.150	0.450	0.850	1.000	0.950	0.800	0.500	0.250	0.150	0.100
cFan peak:	0 W	AM	0.600	0.600	0.600	0.600	0.600	0.600	0.600	0.250	0.250	0.250	0.250	0.250
% Released:	100 %	PM	0.250	0.250	0.250	0.250	0.250	0.250	0.550	0.600	0.600	0.600	0.600	0.600
Igts-in peak:	0 W	AM	0.160	0.150	0.160	0.180	0.230	0.450	0.420	0.260	0.190	0.160	0.120	0.110
% Released:	100 %	PM	0.160	0.170	0.250	0.270	0.340	0.550	0.600	0.880	1.000	0.880	0.510	0.280
Igts-out peak:	0 W	AM	1.000	1.000	1.000	1.000	1.000	0.750	0.750	0.000	0.000	0.000	0.000	0.000
% Released:	0 %	PM	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.500	0.750	0.750	0.750	1.000
Igts-gar peak:	0 W	AM	0.000	0.000	0.000	0.000	0.000	0.500	0.750	1.000	0.750	0.500	0.000	0.000
% Released:	0 %	PM	0.000	0.000	0.500	0.500	0.750	1.000	0.750	0.500	0.000	0.000	0.000	0.000
MEL peak:	0 W	AM	0.500	0.500	0.500	0.750	0.750	0.850	1.000	1.000	1.000	1.000	0.900	0.900
% Released:	90 %	PM	0.900	0.900	1.000	1.000	1.000	1.000	1.000	1.000	1.000	0.850	0.750	0.750

PLANS RELEASED FOR CONSTRUCTION
 HC-BLD-21-0008168
 7/13/2021
 Hillsborough County
 Development Services
 Project reviewed for general compliance with standards
 applicable to this project. Design has not necessarily been
 reviewed or checked regarding specific design elements or
 calculations. The engineer of record is fully responsible for
 the final decision, signed and sealed plans and documents.



MANDATORY REQUIREMENTS - (Continued)

- R402.4.4 Rooms containing fuel-burning appliances.** In Climate Zones 3 through 8, where open combustion air ducts provide combustion air to open combustion fuel burning appliances, the appliances and combustion air opening shall be located outside the building thermal envelope or enclosed in a room, isolated from inside the thermal envelope. Such rooms shall be sealed and insulated in accordance with the envelope requirements of Table R402.1.2, where the walls, floors and ceilings shall meet not less than the basement wall R-value requirement. The door into the room shall be fully gasketed and any water lines and ducts in the room insulated in accordance with Section R403. The combustion air duct shall be insulated where it passes through conditioned space to a minimum of R-8.

Exceptions:

1. Direct vent appliances with both intake and exhaust pipes installed continuous to the outside.
2. Fireplaces and stoves complying with Section R402.4.2 and Section R1006 of the Florida Building Code, Residential.

- R402.4.5 Recessed lighting.** Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. All recessed luminaires shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm (0.944 L/s) when tested in accordance with ASTM E283 at a 1.57 psf (75 Pa) pressure differential. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.

SECTION R403 SYSTEMS**R403.1 Controls.**

- R403.1.1 Thermostat provision (Mandatory).** At least one thermostat shall be provided for each separate heating and cooling system.

- R403.1.3 Heat pump supplementary heat (Mandatory).** Heat pumps having supplementary electric-resistance heat shall have controls that, except during defrost, prevent supplemental heat operation when the heat pump compressor can meet the heating load.

- R403.3.2 Sealing (Mandatory)** All ducts, air handlers, filter boxes and building cavities that form the primary air containment passageways for air distribution systems shall be considered ducts or plenum chambers, shall be constructed and sealed in accordance with Section C403.2.9.2 of the Commercial Provisions of this code and shall be shown to meet duct tightness criteria below.

Duct tightness shall be verified by testing in accordance with ANSI/RESNET/ICC 380 by either individuals as defined in Section 553.993(5) or (7), Florida Statutes, or individuals licensed as set forth in Section 489.105(3)(f), (g) or (i), Florida Statutes, to be "substantially leak free" in accordance with Section R403.3.3.

- R403.3.2.1 Sealed air handler.** Air handlers shall have a manufacturer's designation for an air leakage of no more than 2 percent of the design airflow rate when tested in accordance with ASHRAE 193.

- R403.3.3 Duct testing (Mandatory).** Ducts shall be pressure tested to determine air leakage by one of the following methods:

1. Rough-in test: Total leakage shall be measured with a pressure differential of 0.1 inch w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure if installed at the time of the test. All registers shall be taped or otherwise sealed during the test.
2. Postconstruction test: Total leakage shall be measured with a pressure differential of 0.1 inch w.g. (25 Pa) across the entire system, including the manufacturer's air handler enclosure. Registers shall be taped or otherwise sealed during the test.

Exceptions:

1. A duct air leakage test shall not be required where the ducts and air handlers are located entirely within the building thermal envelope.
2. *Duct testing is not mandatory for buildings complying by Section 405 of this code. Duct leakage testing is required for Section R405 compliance where credit is taken for leakage, and a duct air leakage Q_n to the outside of less than 0.080 (where Q_n = duct leakage to the outside in cfm per 100 square feet of conditioned floor area tested at 25 Pascals) is indicated in the compliance report for the proposed design.*

A written report of the results of the test shall be signed by the party conducting the test and provided to the code official.

- R403.3.5 Building cavities (Mandatory).** Building framing cavities shall not be used as ducts or plenums.

- R403.4 Mechanical system piping insulation (Mandatory).** Mechanical system piping capable of carrying fluids above 105°F (41°C) or below 55°F (13°C) shall be insulated to a minimum of R-3.

- R403.4.1 Protection of piping insulation.** Piping insulation exposed to weather shall be protected from damage, including that caused by sunlight, moisture, equipment maintenance and wind, and shall provide shielding from solar radiation that can cause degradation of the material. Adhesive tape shall not be permitted.

- R403.5.1 Heated water circulation and temperature maintenance systems (Mandatory).** If heated water circulation systems are installed, they shall be in accordance with Section R403.5.1.1. Heat trace temperature maintenance systems shall be in accordance with Section R403.5.1.2. Automatic controls, temperature sensors and pumps shall be accessible. Manual controls shall be readily accessible.

- R403.5.1.1 Circulation systems.** Heated water circulation systems shall be provided with a circulation pump. The system return pipe shall be a dedicated return pipe or a cold water supply pipe. Gravity and thermosiphon circulation systems shall be prohibited. Controls for circulating hot water system pumps shall start the pump based on the identification of a demand for hot water within the occupancy. The controls shall automatically turn off the pump when the water in the circulation loop is at the desired temperature and when there is no demand for hot water.

- R403.5.1.2 Heat trace systems.** Electric heat trace systems shall comply with IEEE 515.1 or UL 515. Controls for such systems shall automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping in accordance with the times when heated water is used in the occupancy.

HILLSBOROUGH COUNTY
 PLANS REVIEWED FOR CODE COMPLIANCE
 APPROVED
 THIS SIGNATURE IS VALID FOR ALL PERMITS AND ALL JOB SITES AT ALL TIMES
 THE ISSUANCE OF THIS PERMIT DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED BY THE APPLICANT OR THE DESIGN PROFESSIONAL. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL AFFECTED AGENCIES AND LOCAL, STATE AND FEDERAL AGENCIES.

MANDATORY REQUIREMENTS - (Continued)

R403.5.5 Heat traps (Mandatory). Storage water heaters not equipped with integral heat traps and having vertical pipe risers shall have heat traps installed on both the inlets and outlets. External heat traps shall consist of either a commercially available heat trap or a downward and upward bend of at least 3 ½ inches (89 mm) in the hot water distribution line and cold water line located as close as possible to the storage tank.

R403.5.6 Water heater efficiencies (Mandatory).

- R403.5.6.1.1 Automatic controls.** Service water-heating systems shall be equipped with automatic temperature controls capable of adjustment from the lowest to the highest acceptable temperature settings for the intended use. The minimum temperature setting range shall be from 100°F to 140°F (38°C to 60°C).
- R403.5.6.1.2 Shut down.** A separate switch or a clearly marked circuit breaker shall be provided to permit the power supplied to electric service systems to be turned off. A separate valve shall be provided to permit the energy supplied to the main burner(s) of combustion types of service water-heating systems to be turned off.
- R403.5.6.2 Water-heating equipment.** Water-heating equipment installed in residential units shall meet the minimum efficiencies of Table C404.2 in Chapter 4 of the Florida Building Code, Energy Conservation, Commercial Provisions, for the type of equipment installed. Equipment used to provide heating functions as part of a combination system shall satisfy all stated requirements for the appropriate water-heating category. Solar water heaters shall meet the criteria of Section R403.5.6.2.1.
- R403.5.6.2.1 Solar water-heating systems.** Solar systems for domestic hot water production are rated by the annual solar energy factor of the system. The solar energy factor of a system shall be determined from the Florida Solar Energy Center Directory of Certified Solar Systems. Solar collectors shall be tested in accordance with ISO Standard 9806, Test Methods for Solar Collectors, and SRCC Standard TM-1, Solar Domestic Hot Water System and Component Test Protocol. Collectors in installed solar water-heating systems should meet the following criteria:
 1. Be installed with a tilt angle between 10 degrees and 40 degrees of the horizontal; and
 2. Be installed at an orientation within 45 degrees of true south.

R403.6 Mechanical ventilation (Mandatory). The building shall be provided with ventilation that meets the requirements of the Florida Building Code, Residential, or Florida Building Code, Mechanical, as applicable, or with other approved means of ventilation including: Natural, Infiltration or Mechanical means. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating.

R403.6.1 Whole-house mechanical ventilation system fan efficacy. When installed to function as a whole-house mechanical ventilation system, fans shall meet the efficacy requirements of Table R403.6.1.
Exception: Where an air handler that is integral to tested and listed HVAC equipment is used to provide whole-house mechanical ventilation, the air handler shall be powered by an electronically commutated motor.

R403.6.2 Ventilation air. Residential buildings designed to be operated at a positive indoor pressure or for mechanical ventilation shall meet the following criteria:

1. The design air change per hour minimums for residential buildings in ASHRAE 62.2, Ventilation for Acceptable Indoor Air Quality, shall be the maximum rates allowed for residential applications.
2. No ventilation or air-conditioning system make-up air shall be provided to conditioned space from attics, crawlspaces, attached enclosed garages or outdoor spaces adjacent to swimming pools or spas.
3. If ventilation air is drawn from enclosed space(s), then the walls of the space(s) from which air is drawn shall be insulated to a minimum of R-11 and the ceiling shall be insulated to a minimum of R-19, space permitting, or R-10 otherwise.

R403.7 Heating and cooling equipment.

R403.7.1 Equipment sizing (Mandatory). Heating and cooling equipment shall be sized in accordance with ACCA Manual S based on the equipment loads calculated in accordance with ACCA Manual J or other approved heating and cooling calculation methodologies, based on building loads for the directional orientation of the building. The manufacturer and model number of the outdoor and indoor units (if split system) shall be submitted along with the sensible and total cooling capacities at the design conditions described in Section R302.1. This Code does not allow designer safety factors, provisions for future expansion or other factors that affect equipment sizing. System sizing calculations shall not include loads created by local intermittent mechanical ventilation such as standard kitchen and bathroom exhaust systems. New or replacement heating and cooling equipment shall have an efficiency rating equal to or greater than the minimum required by federal law for the geographic location where the equipment is installed.

**TABLE R403.6.1
 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY**

FAN LOCATION	AIRFLOW RATE MINIMUM (CFM)	MINIMUM EFFICACY ^a (CFM/WATT)	AIRFLOW RATE MAXIMUM (CFM)
HRV or ERV	Any	1.2 cfm/watt	Any
Range hoods	Any	2.8 cfm/watt	Any
In-line fan	Any	2.8 cfm/watt	Any
Bathroom, utility room	10	1.4 cfm/watt	<90
Bathroom, utility room	90	2.8 cfm/watt	Any

For SI: 1 cfm = 28.3 L/min. a. When tested in accordance with HVI Standard 916

PLANS RELEASED FOR CONSTRUCTION
 HC-BLD-21-000816
 7/13/2021
 Hillsborough County
 Permit Services
 This plan is for general compliance with standards applicable to this project. Design has not necessarily been reviewed or checked for compliance with all applicable codes and regulations. The engineer is responsible for the final design decisions.

HILLSBOROUGH COUNTY
 PLANS REVIEWED FOR CODE COMPLIANCE
 APPROVED
 HC-BLD-21-0008168 7/13/2021
 THE ENGINEER'S PROFESSIONAL SEAL IS REQUIRED FOR THE ISSUANCE OF THIS PERMIT. THE SEAL MUST BE PLACED ON THE STATE-APPROVED DRAWING.

MANDATORY REQUIREMENTS - (Continued)

R403.7.1.1 Cooling equipment capacity. Cooling only equipment shall be selected so that its total capacity is not less than the calculated total load but not more than 1.15 times greater than the total load calculated according to the procedure selected in Section R403-7, or the closest available size provided by the manufacturer's product lines. The corresponding latent capacity of the equipment shall not be less than the calculated latent load.

The published value for AHRI total capacity is a nominal, rating-test value and shall not be used for equipment sizing. Manufacturer's expanded performance data shall be used to select cooling-only equipment. This selection shall be based on the outdoor design dry-bulb temperature for the load calculation (or entering water temperature for water-source equipment), the blower CFM provided by the expanded performance data, the design value for entering wet-bulb temperature and the design value for entering dry-bulb temperature.

Design values for entering wet-bulb and dry-bulb temperatures shall be for the indoor dry bulb and relative humidity used for the load calculation and shall be adjusted for return side gains if the return duct(s) is installed in an unconditioned space.

Exceptions:

1. Attached single- and multiple-family residential equipment sizing may be selected so that its cooling capacity is less than the calculated total sensible load but not less than 80 percent of that load.
2. When signed and sealed by a Florida-registered engineer, in attached single- and multiple-family units, the capacity of equipment may be sized in accordance with good design practice.

R403.7.1.2 Heating equipment capacity.

R403.7.1.2.1 Heat pumps. Heat pump sizing shall be based on the cooling requirements as calculated according to Section R403.7.1.1, and the heat pump total cooling capacity shall not be more than 1.15 times greater than the design cooling load even if the design heating load is 1.15 times greater than the design cooling load.

R403.7.1.2.2 Electric resistance furnaces. Electric resistance furnaces shall be sized within 4 kW of the design requirements calculated according to the procedure selected in Section R403.7.1.

R403.7.1.2.3 Fossil fuel heating equipment. The capacity of fossil fuel heating equipment with natural draft atmospheric burners shall not be less than the design load calculated in accordance with Section R403.7.1.

R403.7.1.3 Extra capacity required for special occasions. Residences requiring excess cooling or heating equipment capacity on an intermittent basis, such as anticipated additional loads caused by major entertainment events, shall have equipment sized or controlled to prevent continuous space cooling or heating within that space by one or more of the following options:

1. A separate cooling or heating system is utilized to provide cooling or heating to the major entertainment areas.
2. A variable capacity system sized for optimum performance during base load periods is utilized.

R403.8 Systems serving multiple dwelling units (Mandatory). Systems serving multiple dwelling units shall comply with Sections C403 and C404 of the Florida Building Code, Energy Conservation—Commercial Provisions in lieu of Section R403.

R403.9 Snow melt and ice system controls (Mandatory) Snow- and ice-melting systems, supplied through energy service to the building, shall include automatic controls capable of shutting off the system when the pavement temperature is above 50°F (10°C), and no precipitation is falling and an automatic or manual control that will allow shutoff when the outdoor temperature is above 40°F (4.8°C).

R403.10 Pools and permanent spa energy consumption (Mandatory). The energy consumption of pools and permanent spas shall be in accordance with Sections R403.10.1 through R403.10.5.

R403.10.1 Heaters. The electric power to heaters shall be controlled by a readily accessible on-off switch that is an integral part of the heater mounted on the exterior of the heater, or external to and within 3 feet (914 mm) of the heater. Operation of such switch shall not change the setting of the heater thermostat. Such switches shall be in addition to a circuit breaker for the power to the heater. Gas-fired heaters shall not be equipped with continuously burning ignition pilots.

R403.10.2 Time switches. Time switches or other control methods that can automatically turn off and on according to a preset schedule shall be installed for heaters and pump motors. Heaters and pump motors that have built-in time switches shall be in compliance with this section.

Exceptions:

1. Where public health standards require 24-hour pump operation.
2. Pumps that operate solar- and waste-heat-recovery pool heating systems.
3. Where pumps are powered exclusively from on-site renewable generation.

PLANS RELEASED FOR CONSTRUCTION
 HC-BLD-21-0008168
 7/13/2021
 Hillsborough County
 Development Services
 Project reviewed for general compliance with standards applicable to this project. Design has not necessarily been reviewed or checked regarding specific design elements or calculations. The engineer of record is fully responsible for the final decision, sign.

HILLSBOROUGH COUNTY
PLANS REVIEWED FOR CODE COMPLIANCE
APPROVED
HC-BLD-21-0008168 7/13/2021
THIS SEAL IS VALID FOR THE PROJECT AND JOB SITE AT ALL TIMES.
IT IS VOID FOR ANY OTHER PROJECTS OR ALTERATIONS WITHOUT APPROVAL.
THE ISSUANCE OF THIS PERMIT SHALL NOT BE HELD TO PERMIT OR APPROVE THE VIOLATION OF ANY COUNTY, STATE OR FEDERAL LAW, CODE OR REGULATION.

R403.10.3 Covers. Outdoor heated swimming pools and outdoor permanent spas shall be equipped with a vapor-retardant cover on or at the water surface or a liquid cover or other means proven to reduce heat loss.

Exception: Where more than 70 percent of the energy for heating, computed over an operation season, is from site-recovered energy, such as from a heat pump or solar energy source, covers or other vapor-retardant means shall not be required.

R403.10.4 Gas- and oil-fired pool and spa heaters. All gas- and oil-fired pool and spa heaters shall have a minimum thermal efficiency of 82 percent for heaters manufactured on or after April 16, 2013, when tested in accordance with ANSI Z 21.56. Pool heaters fired by natural or LP gas shall not have continuously burning pilot lights.

R403.10.5 Heat pump pool heaters. Heat pump pool heaters shall have a minimum COP of 4.0 when tested in accordance with AHRI 1160, Table 2, Standard Rating Conditions-Low Air Temperature. A test report from an independent laboratory is required to verify procedure compliance. Geothermal swimming pool heat pumps are not required to meet this standard.

R403.11 Portable spas (Mandatory). The energy consumption of electric-powered portable spas shall be controlled by the requirements of APSP-14.

R403.13 Dehumidifiers (Mandatory) If installed, a dehumidifier shall conform to the following requirements:

1. The minimum rated efficiency of the dehumidifier shall be greater than 1.7 liters/ kWh if the total dehumidifier capacity for the house is less than 75 pints/day and greater than 2.38 liters/kWh if the total dehumidifier capacity for the house is greater than or equal to 75 pints/day.
2. The dehumidifier shall be controlled by a sensor that is installed in a location where it is exposed to mixed house air.
3. Any dehumidifier unit located in unconditioned space that treats air from conditioned space shall be insulated to a minimum of R-2.
4. Condensate disposal shall be in accordance with Section M1411.3.1 of the Florida Building Code, Residential.

R403.13.1 Ducted dehumidifiers. Ducted dehumidifiers shall, in addition to conforming to the requirements of Section R403.13, conform to the following requirements:

1. If a ducted dehumidifier is configured with return and supply ducts both connected into the supply side of the cooling system, a backdraft damper shall be installed in the supply air duct between the dehumidifier inlet and outlet duct.
2. If a ducted dehumidifier is configured with only its supply duct connected into the supply side of the central heating and cooling system, a backdraft damper shall be installed in the dehumidifier supply duct between the dehumidifier and central supply duct.
3. A ducted dehumidifier shall not be ducted to or from a central ducted cooling system on the return duct side upstream from the central cooling evaporator coil.
4. Ductwork associated with a dehumidifier located in unconditioned space shall be insulated to a minimum of R-6.

SECTION R404

ELECTRICAL POWER AND LIGHTING SYSTEMS

R404.1 Lighting equipment (Mandatory). Not less than 90 percent of the lamps in permanently installed luminaires shall have an efficacy of at least 45 lumens-per-watt or shall utilize lamps with an efficacy of not less than 65 lumens-per-watt.

R404.1.1 Lighting equipment (Mandatory). Fuel gas lighting systems shall not have continuously burning pilot lights.

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HC-BLD-21-0008168
7/13/2021
Hillsborough County
Development Services
Project reviewed for general compliance with standards applicable to this project. Design has not necessarily been reviewed or checked regarding specific design elements or calculations. The engineer of record is fully responsible for the final decision, sign-off.

HILLSBOROUGH COUNTY
 PLANS REVIEWED FOR CODE COMPLIANCE
2020 FBC
 HC-BLD-21-0008168 7/13/2021
 THIS SET OF PLANS MUST BE KEPT ON THE
 JOB SITE AT ALL TIMES
 IT IS UNLAWFUL TO MAKE CHANGES OR
 ALTERATIONS WITHOUT APPROVAL.
 THE ISSUANCE OF THIS PERMIT SHALL NOT BE HELD
 TO PERMIT OR APPROVE THE VIOLATION OF ANY
 COUNTY, STATE OR FEDERAL LAW, CODE OR
 REGULATION.

2020 FBC AIR BARRIER AND INSULATION INSPECTION COMPONENT CRITERIA

TABLE 402.4.1.1

AIR BARRIER AND INSULATION INSPECTION COMPONENT CRITERIA ^a

Project Name: Moya Residence Street: 10008 Alsobrook Ave City, State, Zip: Riverview, FL, 33578 Owner: Christopher Moya Design Location: FL, Orlando		Builder Name: Permit Office: Permit Number: Jurisdiction:		CHECK
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA		
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.		
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.		
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.		
Windows, skylights and doors	The space between window/door jambs and framing, and skylights and framing shall be sealed.			
Rim joists	Rim joists shall include the air barrier.	Rim joists shall be insulated.		
Floors (including above-garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.		
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawlspace walls.		
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.			
Narrow cavities		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity spaces.		
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.			
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the finished surface.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.		
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.		
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.		
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.			
HVAC register boots	HVAC supply and return register boots that penetrate building thermal envelope shall be sealed to the sub-floor, wall covering or			
Concealed sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.			

a. In addition, inspection of log walls shall be in accordance with the provisions of ICC-400.

HILLSBOROUGH COUNTY
 PLANS REVIEWED FOR CODE COMPLIANCE
APPROVED
 HC-BLD-21-0008168 7/13/2021
 THIS SET OF PLANS MUST BE KEPT ON THE
 JOB SITE AT ALL TIMES
 IT IS UNLAWFUL TO MAKE CHANGES OR
 ALTERATIONS WITHOUT APPROVAL.
 THE ISSUANCE OF THIS PERMIT SHALL NOT BE
 TO PERMIT OR APPROVE THE VIOLATION OF A
 COUNTY, STATE OR FEDERAL LAW, CODE OR
 REGULATION

Envelope Leakage Test Report (Blower Door Test)

Residential Prescriptive, Performance or ERI Method Compliance

2020 Florida Building Code, Energy Conservation, 7th Edition

Jurisdiction:	Permit #:
---------------	-----------

Job Information

Builder:	Community:	Lot: NA
Address: 10008 Alsobrook Ave		
City: Riverview	State: FL	Zip: 33578

Air Leakage Test Results *Passing results must meet either the Performance, Prescriptive, or ERI Method*

- PRESCRIPTIVE METHOD**-The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding 7 air changes per hour at a pressure of 0.2 inch w.g. (50 Pascals) in Climate Zones 1 and 2.
- PERFORMANCE or ERI METHOD**-The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding the selected ACH(50) value, as shown on Form R405-2020 (Performance) or R406-2020 (ERI), section labeled as infiltration, sub-section ACH50. ACH(50) specified on Form R405-2020-Energy Calc (Performance) or R406-2020 (ERI): 6.000

$\frac{\text{CFM}(50)}{\text{Building Volume}} \times 60 \div 23976 = \text{ACH}(50)$ <div style="text-align: center; margin: 10px 0;"> <input type="checkbox"/> PASS </div> <input type="checkbox"/> When ACH(50) is less than 3, Mechanical Ventilation installation must be verified by building department.	<p><u>Method for calculating building volume:</u></p> <p><input type="radio"/> Retrieved from architectural plans</p> <p><input checked="" type="radio"/> Code software calculated</p> <p><input type="radio"/> Field measured and calculated</p>
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R402.4.1.2 Testing. Testing shall be conducted in accordance with ANSI/RESNET/ICC 380 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be conducted by either individuals as defined in Section 553.993(5) or (7), *Florida Statutes* or individuals licensed as set forth in Section 489.105(3)(f), (g), or (i) or an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the *code official*. Testing shall be performed at any time after creation of all penetrations of the *building thermal envelope*.

During testing:

1. Interior windows and doors, fireplace and stove doors shall be closed, but not sealed, beyond the intended weatherstripping or other infiltration control measures.
2. Dampers including exhaust, intake, makeup air, back draft and flue dampers shall be closed, but not sealed beyond intended infiltration control measures.
3. Interior doors, if installed at the time of the test, shall be open.
4. Exterior doors for continuous ventilation systems and heat recovery ventilators shall be closed and sealed.
5. Heating and cooling systems, if installed at the time of the test, shall be turned off.
6. Supply and return registers, if installed at the time of the test, shall be fully open.

Testing Company

Company Name: _____ Phone: _____

I hereby verify that the above Air Leakage results are in accordance with the 2020 7th Edition Florida Building Code Energy Conservation requirements according to the compliance method selected above.

Signature of Tester: _____ Date of Test: _____

Printed Name of Tester: _____

License/Certification #: _____ Issuing Authority: _____

PLANS RELEASED FOR CONSTRUCTION
 HC-BLD-21-0008168
 7/13/2021
 Hillsborough County
 Development Services
 Project reviewed for general compliance with applicable to this project. Design has not necessarily been reviewed or checked regarding specific design elements or calculations. The engineer of record is fully responsible for the final decision, signed and sealed plans and documents.

HILLSBOROUGH COUNTY
PLANS REVIEWED FOR CODE COMPLIANCE
APPROVED
HC-BLD-21-0008168 7/13/2021
THIS SET OF PLANS MUST BE KEPT ON THE
JOB SITE AT ALL TIMES. IT IS UNLAWFUL TO MAKE
COPIES OR ALTERATIONS.
THE ISSUANCE OF THIS PERMIT SHALL NOT BE HELD
TO PERMIT THE VIOLATION OF ANY
COUNTY ORDINANCES, STATE OR
FEDERAL REGULATIONS.

Florida Building Code, Energy Conservation, 7th Edition (2020) Mandatory Requirements for Residential Performance, Prescriptive and ERI Methods

ADDRESS: 10008 Alsobrook Ave
Riverview, FL, 33578

Permit Number:

MANDATORY REQUIREMENTS - See individual code sections for full details.

SECTION R401 GENERAL

R401.3 Energy Performance Level (EPL) display card (Mandatory). The building official shall require that an energy performance level (EPL) display card be completed and certified by the builder to be accurate and correct before final approval of the building for occupancy. Florida law (Section 553.9085, Florida Statutes) requires the EPL display card to be included as an addendum to each sales contract for both presold and nonpresold residential buildings. The EPL display card contains information indicating the energy performance level and efficiencies of components installed in a dwelling unit. The building official shall verify that the EPL display card completed and signed by the builder accurately reflects the plans and specifications submitted to demonstrate code compliance for the building. A copy of the EPL display card can be found in Appendix RD.

SECTION R402 BUILDING THERMAL ENVELOPE

R402.4 Air leakage (Mandatory). The building thermal envelope shall be constructed to limit air leakage in accordance with the requirements of Sections R402.4.1 through R402.4.5.

Exception: Dwelling units of R-2 Occupancies and multiple attached single family dwellings shall be permitted to comply with Section C402.5.

R402.4.1 Building thermal envelope The building thermal envelope shall comply with Sections R402.4.1.1 and R402.4.1.2. The sealing methods between dissimilar materials shall allow for differential expansion and contraction.

R402.4.1.1 Installation. The components of the building thermal envelope as listed in Table R402.4.1.1 shall be installed in accordance with the manufacturer's instructions and the criteria listed in Table R402.4.1.1, as applicable to the method of construction. Where required by the code official, an approved third party shall inspect all components and verify compliance.

R402.4.1.2 Testing. The building or dwelling unit shall be tested and verified as having an air leakage rate not exceeding seven air changes per hour in Climate Zones 1 and 2, and three air changes per hour in Climate Zones 3 through 8. Testing shall be conducted in accordance with ANSI/RESNET/ICC 380 and reported at a pressure of 0.2 inch w.g. (50 pascals). Testing shall be conducted by either individuals as defined in Section 553.993(5) or (7), Florida Statutes, or individuals licensed as set forth in Section 489.105(3)(f), (g) or (i) or an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope.

Exception: Testing is not required for additions, alterations, renovations, or repairs, of the building thermal envelope of existing buildings in which the new construction is less than 85 percent of the building thermal envelope.

During testing:

1. Exterior windows and doors, fireplace and stove doors shall be closed, but not sealed, beyond the intended weatherstripping or other infiltration control measures.
2. Dampers including exhaust, intake, makeup air, backdraft and flue dampers shall be closed, but not sealed beyond intended infiltration control measures.
3. Interior doors, if installed at the time of the test, shall be open.
4. Exterior doors for continuous ventilation systems and heat recovery ventilators shall be closed and sealed.
5. Heating and cooling systems, if installed at the time of the test, shall be turned off.
6. Supply and return registers, if installed at the time of the test, shall be fully open.

R402.4.2 Fireplaces. New wood-burning fireplaces shall have tight-fitting flue dampers or doors, and outdoor combustion air. Where using tight-fitting doors on factory-built fireplaces listed and labeled in accordance with UL 127, the doors shall be tested and listed for the fireplace. Where using tight-fitting doors on masonry fireplaces, the doors shall be listed and labeled in accordance with UL 907.

R402.4.3 Fenestration air leakage. Windows, skylights and sliding glass doors shall have an air infiltration rate of no more than 0.3 cfm per square foot (1.5 L/s/m²), and swinging doors no more than 0.5 cfm per square foot (2.6 L/s/m²), when tested according to NFRC 400 or AAMA/WDMA/CSA 101/I.S.2/A440 by an accredited, independent laboratory and listed and labeled by the manufacturer.

Exception: Site-built windows, skylights and doors.

PLANS RELEASED FOR CONSTRUCTION
HC-BLD-21-0008168
7/13/2021
Hillsborough County
Development Services
Project reviewed for general compliance with standards applicable to this project. Design has not necessarily been reviewed or checked for specific details, dimensions or calculations. The engineer is responsible for the final decision, sign-off.